MOBERLY LANE - WALTON BLVD TO S.E. 28TH

LEGEND (EXISTING SYMBOLS)

LINEWORK

BENTONVILLE, ARKANSAS

SYMBOLS

F	OUND IRON PIN
L	IGHT POLE
Р	OWER POLE
Т	ELEPHONE PEDESTAL
Т	V PEDESTAL
M	IANHOLE
9	ANITARY SEWER CLEA

GAS METER GAS VALVE STORM SEWER PIPE WATER VALVE

FIRE HYDRANT ASSEMBLY AIR RELEASE VALVE FIRE DEPARTMENT CONNECTION WATER METER SPRINKLER HEAD

ELECTRIC PEDESTAL

GRATED INLET

DROP INLET







	======
	1206
INTERMEDIATE CONTOUR	
INDEX CONTOUR	1205
SANITARY SEWER LINE	SS
GAS LINE G	G
5.15 <u>5.115</u>	W
WATER LINE (SPECIFY SIZE & TYPE)	
UNDERGROUND TELEPHONE	UGT-
	·
——————————————————————————————————————	W
OVERHEAD ELECTRIC	1'
UNDERGROUND TELEVISION	UGIV
OVERHEAD TELEVISION	OHTV
OVERVICAD TELEVISION	
CHAIN LINK FENCE	
WOOD FENCE	
BARBED WIRE FENCE	X
FIBER OPTIC	—— FO ——

(LEGEND (CONSTRUCT)

<u>SYMBOLS</u>

•	SET IRON PIN
*	LIGHT POLE
	POWER POLE
	TELEPHONE PEDEST
	TV PEDESTAL
\odot	MANHOLE
0	SANITARY SEWER (

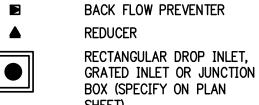
CLEANOUT GAS METER GAS VALVE

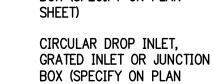
STORM SEWER PIPE

STRUCTURE NUMBER

(X-X)

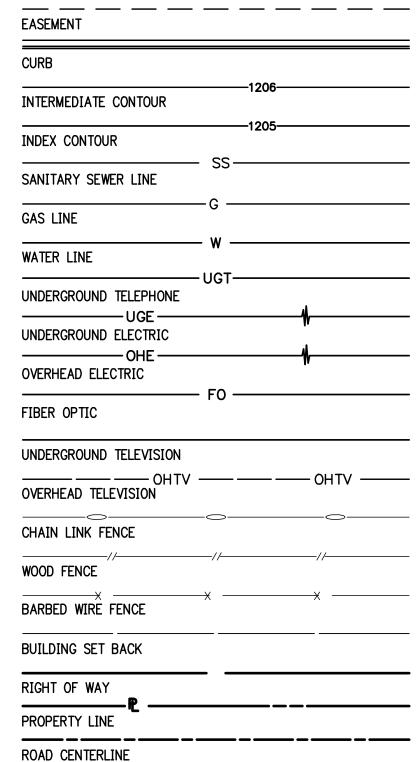
WATER VALVE FIRE HYDRANT ASSEMBLY AIR RELEASE VALVE FIRE DEPARTMENT CONNECTION WATER METER











LINEWORK

EASEMENT		
CURB		
INTERMEDIATE CONTOUR		
INDEX CONTOUR		
SANITARY SEWER LINE		
GAS LINE		
WATER LINE		
UNDERGROUND TELEPHONE UGE		
UNDERGROUND ELECTRIC OHE		1.
OVERHEAD ELECTRIC		•
FIBER OPTIC	- 60 -	
UNDERGROUND TELEVISION		
OVERHEAD TELEVISION		
CHAIN LINK FENCE	-0-	
WOOD FENCE	—//—	
BARBED WIRE FENCE	-X	X

SE WALTON BLVD.		SE 28TH ST.	PROJECT LOCATION	
SE WALTON BLVD.		At CENTER PKW;		
	SE WAI			

(UTILITY CONTACTS

CURRENT PLANNING

305 SW "A" ST

CITY OF BENTONVILLE

BENTONVILLE, AR. 72712

PHONE: (479) 271-3122

BENTONVILLE ELECTRIC

UTILITY DEPT. (BEUD)

SITE ENGINEER

CRAFTON TULL

ROGERS, AR. 72756

PHONE: 479-631-6224

3200 SE MUNICIPAL DR

BENTONVILLE, AR. 72712

PHONE: 479-271-3135, EXT. 2

901 N. 47TH ST, SUITE 400

ENGINEERING DEPARTMENT

CITY OF BENTONVILLE 3200 SW MUNICIPAL DR BENTONVILLE, AR. 72712 PHONE: (479) 271-3168 STREET DEPARTMENT CITY OF BENTONVILLE 3200 SW MUNICIPAL DR BENTONVILLE, AR. 72712

WATER AND SEWER

ATTN: CHRIS EARL

CITY OF BENTONVILLE

3200 SE MUNICIPAL DR

BENTONVILLE, AR. 72712

PHONE: 479-271-3140

PHONE: (479) 271-3130

ATTN: BEAU THOMPSON CITY OF BENTONVILLE 3200 SW MUNICIPAL DR BENTONVILLE, AR. 72712 PHONE: 479-271-3140 WASTEWATER RECOVERY

FLOOD NOTE:

THIS PROPERTY IS IN FLOOD ZONE "A" OR "AE", AND IS INSIDE THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05007C0260K, EFFECTIVE DATE 06/05/2012.

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, NO INDEPENDENT STUDY OF THE LIKELIHOOD OF FLOODING OF THE SURVEYED PROPERTY HAS BEEN DONE BY THE SURVEYOR AND NO OPINION OF FLOOD HAZARDS IS INCLUDED IN THIS SURVEY. THE FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON WERE SCALED FROM THE MAPS CITED AND ARE NOT THE RESULT OF INDEPENDENT COMPUTATION OR ANALYSIS.

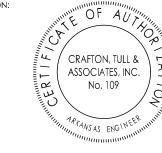
SITE STABILIZATION AND CERTIFICATION

CRAFTON TULL CANNOT CERTIFY THE SITE AS COMPLETE IN ORDER TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES HAVE BEEN MET.

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Rogers, Arkansas 72756 Crafton Tull architecture | engineering | surveying



90% PLANS

MOBERLY LANE - WALTON BLVD TO S.E. 28TH BENTONVILLE, ARKANSAS

BOND PROJECT MUNIS #21ST0003

Description	Date
_	

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OJECT NO: 21105500		
21100000		
SUE DATE: 01/03/2023		
ONTACT: B. BURNETT		
C by:		
C Date:		
PRELIMINARY		
51.4.10		

DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT

THIS

COVERSHEET

C-001

Know what's **below**. Call before you dig.

Arkansas One Call

SITE NOTES

- THE DESIGN. INSPECTION. AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS
- 2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY/STATE/FEDERAL REGULATIONS AND CODES AND OSHA STANDARDS.
- 3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- 4. ALL CURB DIMENSIONS AND RADII ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- 5. ALL PAVEMENT MARKINGS DIMENSIONS BACK OF CURB UNLESS
- OTHERWISE NOTED. 6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 7. ALL CURB/SIDEWALK/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL RESTRICTIVE CODES, WHICHEVER IS MORE RESTRICTIVE
- 8. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION START.
- 9. CONTRACTOR SHALL MATCH NEW CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT
- 10. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.

1. CONTRACTOR SHALL ABIDE BY ALL FEDERAL, STATE, AND LOCAL CODES

2. CRAFTON, TULL AND ASSOCIATES, INC. SHALL NOT BE LIABLE FOR ANY

3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SURE

4. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND

OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING,

DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE

THAT ADJACENT PROPERTY IS NOT DAMAGED AND IS ACCESSIBLE AT

ALL TIMES. AND THAT CONSTRUCTION DOES NOT CREATE ANY HARDSHIP

DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES.

CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO

COMPANIES PRIOR TO THE DISCONNECTION. REMOVAL AND RELOCATION

PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH

OF ALL UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE

UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE

CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXISTING IRRIGATION

THE REMAINING SYSTEM SHALL CONTINUE TO FUNCTION PROPERLY.

7. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY

SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE

SHALL CAP THE EXISTING IRRIGATION SYSTEM TO REMAIN SUCH THAT

SYSTEM IN THE AREAS OF SITE IMPROVEMENTS. THE CONTRACTOR

ARE TO BE PAID TO THE UTILITY COMPANY FOR SERVICES. THE

DEMOLITION PROCEDURES, SCHEDULING, AND DISPOSAL OF ANY

FOR THE DEMOLITION AND DISPOSAL OF ALL MATERIALS.

TO LAND OWNERS ADJACENT TO THE CONSTRUCTION SITE.

IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE

COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE

5. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY

(DEMOLITION NOTES

BUILDINGS.

- THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES WITHIN THE WORK ZONE.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING FACILITIES. CONTRACTOR SHALL COORDINATE AND SCHEDULE TIE-INS/CONNECTIONS WITH ALL UTILITY COMPANIES.
- 3. ALL UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED, AND APPROVED PRIOR TO BACKFILLING.
- 4. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF
- GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT, OR RELOCATION OF EXISTING UTILITIES.
- 6. THRUST BLOCKING SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING. MINIMUM HORIZONTAL SEPARATION BETWEEN THE OUTSIDE WALL OF THE WATERLINE AND THE OUTSIDE WALL OF THE SANITARY SEWER LINE OR SANITARY SEWER MANHOLE SHALL BE AT LEAST TEN FEET. WHERE WATERLINES CROSS SANITARY SEWERS THE WATERLINE SHALL BE PLACED ABOVE THE SEWER WITH A MINIMUM VERTICAL SEPARATION, OUTSIDE-TO-OUTSIDE. OF 18". IF IT IS NOT POSSIBLE TO CONFORM TO THESE DIMENSIONS OR DEFINED PLACEMENT, THE WATERLINE SHALL BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING
- THE CONTRACTOR SHALL INCLUDE IN THE BID PRICE ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY THE LOCAL AND/OR STATE AGENCIES.
- 10. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH FINISHED PAVEMENT ELEVATIONS, AND MANHOLES IN UNPAVED AREAS TO BE 4" ABOVE FINISHED GROUND ELEVATIONS WITH WATER TIGHT LIDS
- 11. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL REGULATIONS.

LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDINGS.

10. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR

COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME

SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH

GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE

THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH

12. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO

THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE

RESPONSIBLE FOR ITS REMOVAL AND REPAIR.

11. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING,

13. CONTRACTOR MAY LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY

THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE

14. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS,

CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF

TRANSITION IN UTILITY SERVICE.

BARRICADES, ENCLOSURES, ETC.

UTILITIES.

DEMOLITION.

- 12. REFER TO BUILDING PLANS FOR SITE LIGHTING AND ELECTRICAL PLAN. 13. ALL MATERIALS, CONSTRUCTION, AND INSPECTION FOR WATER AND SANITARY SEWER LINES SHALL BE PER THE 2021 SPECIFICATIONS AND DETAILS OF THE CITY OF BENTONVILLE WATER UTILITIES.
- 14. THE CONTRACTOR SHALL COORDINATE WITH THE FIRE DEPARTMENT AND THE WATER COMPANY TO PLAN THE IMPROVEMENTS TO THE WATER MAINS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THE PROJECT. CONTRACTOR WILL

- BE RESPONSIBLE FOR ARRANGING ANY REQUIRED WATER MAIN SHUT-OFFS WITH THE WATER COMPANY DURING CONSTRUCTION. ALL COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR; NO ADDITIONAL COMPENSATION WILL BE PROVIDED.
- DAMAGE TO ALL EXISTING FACILITIES DESIGNATED TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE LOCATIONS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED AS WELL AS COSTS OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- GENERAL CONTRACTOR SHALL PROVIDE ALL CONDUITS AS SHOWN ON THE PLANS, VERIFY LOCATION OF UTILITY TIE-INS, AND PROVIDE NYLON PULL CORDS INSIDE THE CONDUIT
- THE CONTRACTOR SHALL INCLUDE IN BID PRICE THE DAILY RECORD KEEPING OF THE RECORD CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION STAKE-OUT, PREPARATION OF THE NECESSARY/REQUIRED WATER AND SEWER RECORD DRAWINGS TO BE SUBMITTED. AND ALL OTHER INFORMATION REQUIRED FOR OBTAINING PERMITS AND RELEASE OF BONDS.
- ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND ADVANCED <u>NOTICES</u>: ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK. MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.

8. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE DRIVES. ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER VEHICULAR TRAFFIC TO AND FROM THE SITE. ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY, PRIOR TO THE

- 15. THE CONTRACTOR SHALL COORDINATE WATERMAIN WORK WITH THE FIRE START OF ANY DEMOLITION ACTIVITY. THE CONTRACTOR SHALL NOTIFY DEPARTMENT AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING WATERMAIN IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS 9. ALL EXISTING SEWERS. PIPING AND UTILITIES SHOWN ARE NOT TO BE SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND REQUIRED WATERMAIN SHUT-OFFS WITH THE CITY/COUNTY DURING PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATERMAIN SHUT-OFFS NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE COMPENSATION WILL BE PROVIDED. PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED AND
 - 16. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. REPAIRS SHALL RESTORE DAMAGED ITEMS TO EQUAL OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND NOTIFYING CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
 - 17. ALL TRENCHES AND/OR EXCAVATED AREAS SHALL BE FILLED/TESTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
 - 18. IF SEPTIC TANKS ARE FOUND PRESENT WITHIN THE LIMITS OF DISTURBANCE THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAWS.
 - 19. IF THE CONTRACTOR FINDS ANY UNDERGROUND TANKS ON SITE THEY
 - SHALL CONTACT THE ENGINEER IMMEDIATELY 20. ALL WELLS SHALL BE CAPPED AND CLOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL LAW.

GRADING AND DRAINAGE NOTES

- I. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS
- 2. THE OWNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING AND PROVIDING SEPARATE AND INDEPENDENT RETAINING WALL DESIGNS, INSPECTIONS, AND CERTIFICATIONS BY A REGISTERED PROFESSIONAL ENGINEER OTHER THAN CRAFTON TULL. THIS SHALL ALSO APPLY TO ANY ASSOCIATED AND NECESSARY PUBLIC SAFETY DEVICES INCLUDING, BUT NOT LIMITED TO, PEDESTRIAN SAFETY RAILS.
- 3. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE LOCATED PRIOR TO GRADING
- 4. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS
- 5. ALL CUT OR FILL SLOPES SHALL BE A MAX 3:1 SLOPE OR FLATTER UNLESS OTHERWISE NOTED.
- 6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
- 7. ALL STORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT
- 8. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY WHEN IN PAVED AND TRAFFIC AREAS.
- 9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 1" ABOVE FINISH GRADE.
- LIDS SHALL BE LABELED PER JURISDICTIONAL SPECIFICATIONS. 10. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND

SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES

11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL TO FINAL GRADE. REFER TO THE LANDSCAPE PLAN.

12. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON PLANS, CONTACT ENGINEER IMMEDIATELY. 13. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL

PHASES OF CONSTRUCTION. 14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING

DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS. 15. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.

16. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.

17. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

18. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.

19. IF WET AREAS ARE ENCOUNTERED ON-SITE THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR THE DESIGN AND REPLACEMENT OF A FRENCH DRAIN SYSTEM.

20. CRAFTON, TULL & ASSOCIATES, INC. (CTA) HAS NOT NECESSARILY ESTABLISHED MINIMUM FINISH FLOOR ELEVATIONS FOR EACH INDIVIDUAL BUILDING OR LOT IN THIS SUBDIVISION. WHEN A MINIMUM BUILDING FLOOR ELEVATION IS NOT ESTABLISHED AND NOTED, THE ULTIMATE RESPONSIBILITY FOR THE PROPER GRADING OF EACH INDIVIDUAL LOT OR PARCEL SHALL REST WITH THE LOT'S OWNER. TYPICALLY, THE MINIMUM FINISH FIRST FLOOR ELEVATIONS SHOULD BE AT LEAST TWELVE INCHES (12") ABOVE THE FINISHED TOP OF STREET CURB ELEVATION ASSOCIATED WITH EACH INDIVIDUAL LOT OR PARCEL OR AS REQUIRED BY LOCAL AND STATE CODES.

GENERAL NOTES

- THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS. MASS GRAVITY WALLS. GABION WALLS. ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE ONLY FOR COORDINATION OF THE WALL LOCATION AND
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS IS BASED ON A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. CRAFTON TULL ASSUMES NO RESPONSIBILITY REGARDING THE ACCURACY OF THE DEPICTED LOCATION(S) OF THE UNDERGROUND FACILITIES ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ANY OTHER FACILITIES NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION OF ALL FACILITIES BEFORE BEGINNING WORK.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY
- MEASURES IN OR NEAR THE CONSTRUCTION SITE. 4. THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES. IS THE PROPERTY OF CRAFTON, TULL & ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CRAFTON, TULL & ASSOCIATES, INC.
- 5. CONTRACTOR SHALL NOT CAUSE ANY LONG-TERM INCONVENIENCE TO THE PUBLIC, ADJACENT PROPERTY OWNERS, PEDESTRIANS, ETC. DURING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL PROVIDE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION. 6. CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A
- DISCREPANCY OR INCONSISTENCY IS IDENTIFIED IN THE PLANS OR SPECIFICATIONS. 7. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES

REQUIRED ON THE PROJECT WHICH ARE NECESSARY TO CONFORM TO

OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.

- 8. ENGINEER OF RECORD. CRAFTON TULL & ASSOCIATES, INC. (CTA) HAS BEEN RETAINED BY THE OWNER FOR CONSTRUCTION ADMINISTRATION AND OBSERVATION SERVICES FOR THE WORK INDICATED ON THESE DRAWINGS. CTA HEREBY NOTIFIES ALL PARTIES INVOLVED THAT CRAFTON, TULL & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE INTERPRETATION, COORDINATION, OR ADMINISTRATION OF THESE DOCUMENTS AND/OR DEVIATIONS THEREOF. FURTHERMORE, CRAFTON. TULL & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANY EFFECTS THAT ANY CHANGES TO THESE DOCUMENTS MAY HAVE ON ANY RELATED TRADES, CONSTRUCTION SEQUENCES, OR OPERATION OF THE COMPLETED PROJECT EXCEPT AS SPECIFICALLY NOTED IN THE AGREEMENT BETWEEN CRAFTON, TULL & ASSOCIATES AND THE OWNER.
- ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND ADVANCED NOTICES: ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL



ASSOCIATES, INC. No. 109

901 N. 47th St., Suite 400 Roaers, Arkansas 72756

MOBERLY LANE - WALTON BLVD TO S.E. 28TH BENTONVILLE, ARKANSAS

BOND PROJECT MUNIS #21ST0003

Description	Date
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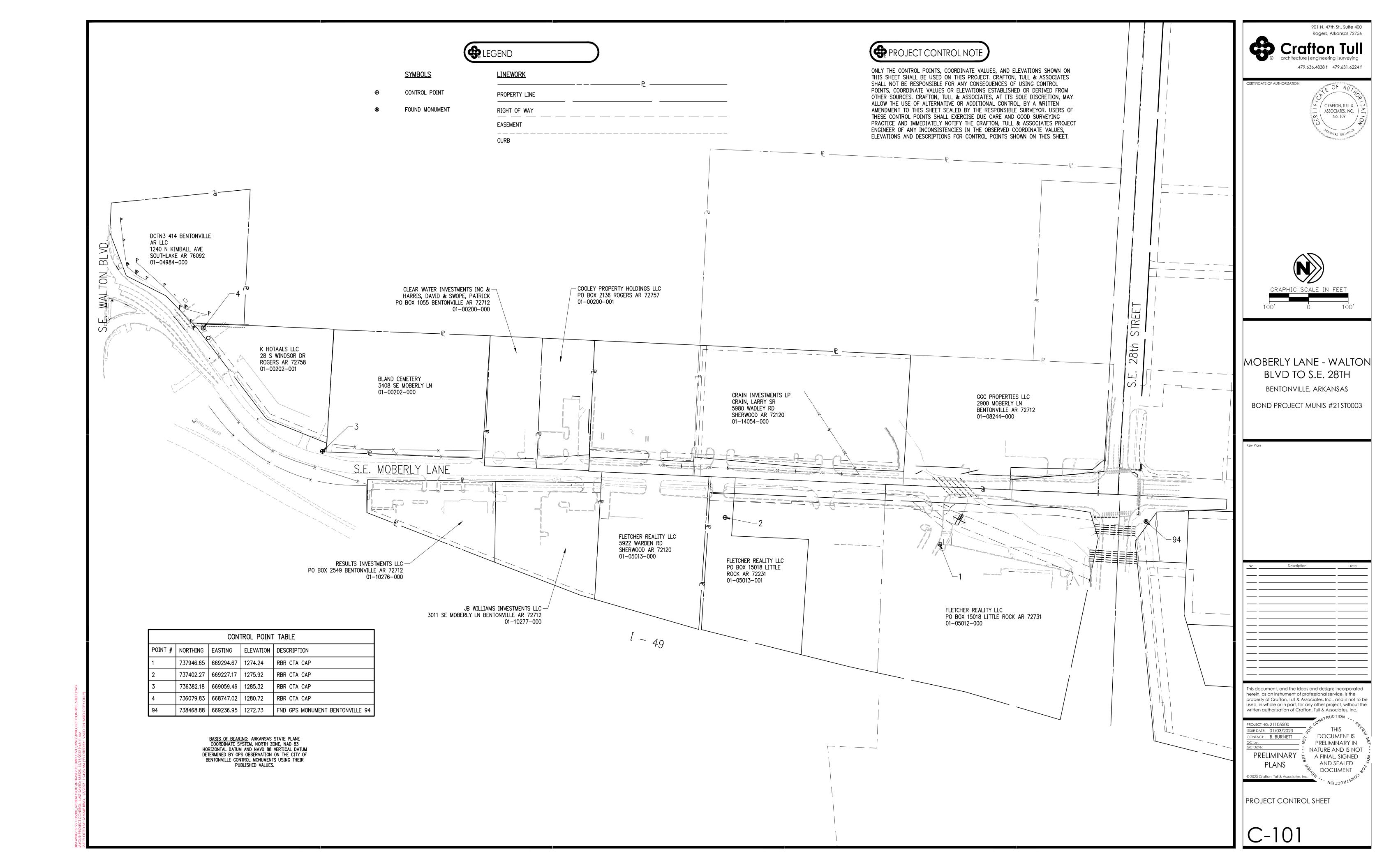
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PROJECT NO: 21105500 ISSUE DATE: 01/03/2023 **PRELIMINARY** PLANS

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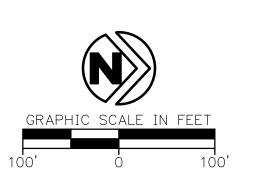
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CRAFTON, TULL & ASSOCIATES, INC. No. 109



MOBERLY LANE - WALTON BLVD TO S.E. 28TH BENTONVILLE, ARKANSAS BOND PROJECT MUNIS #21ST0003

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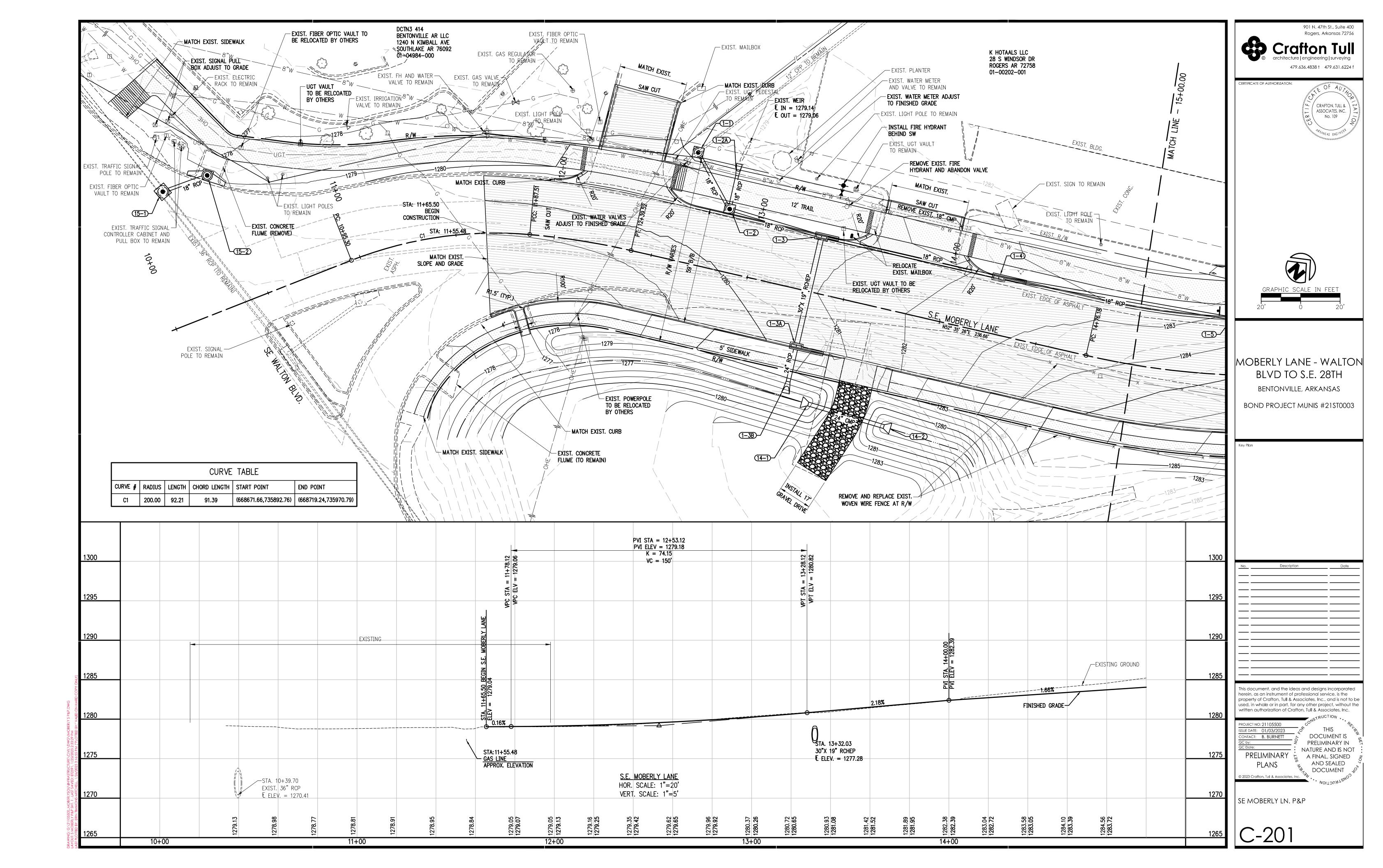
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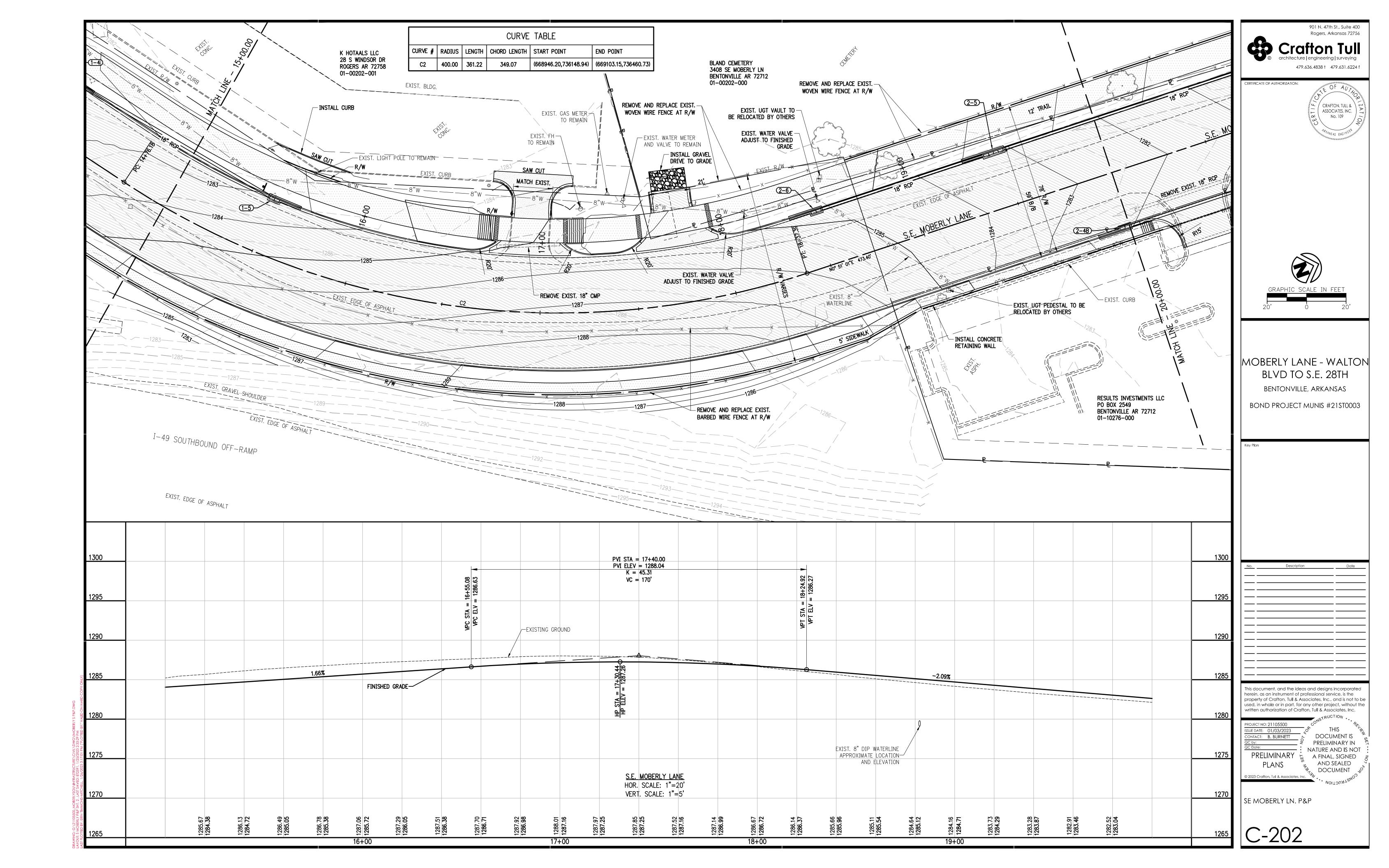
ISSUE DATE: 01/03/2023
CONTACT: B. BURNETT PRELIMINARY PLANS

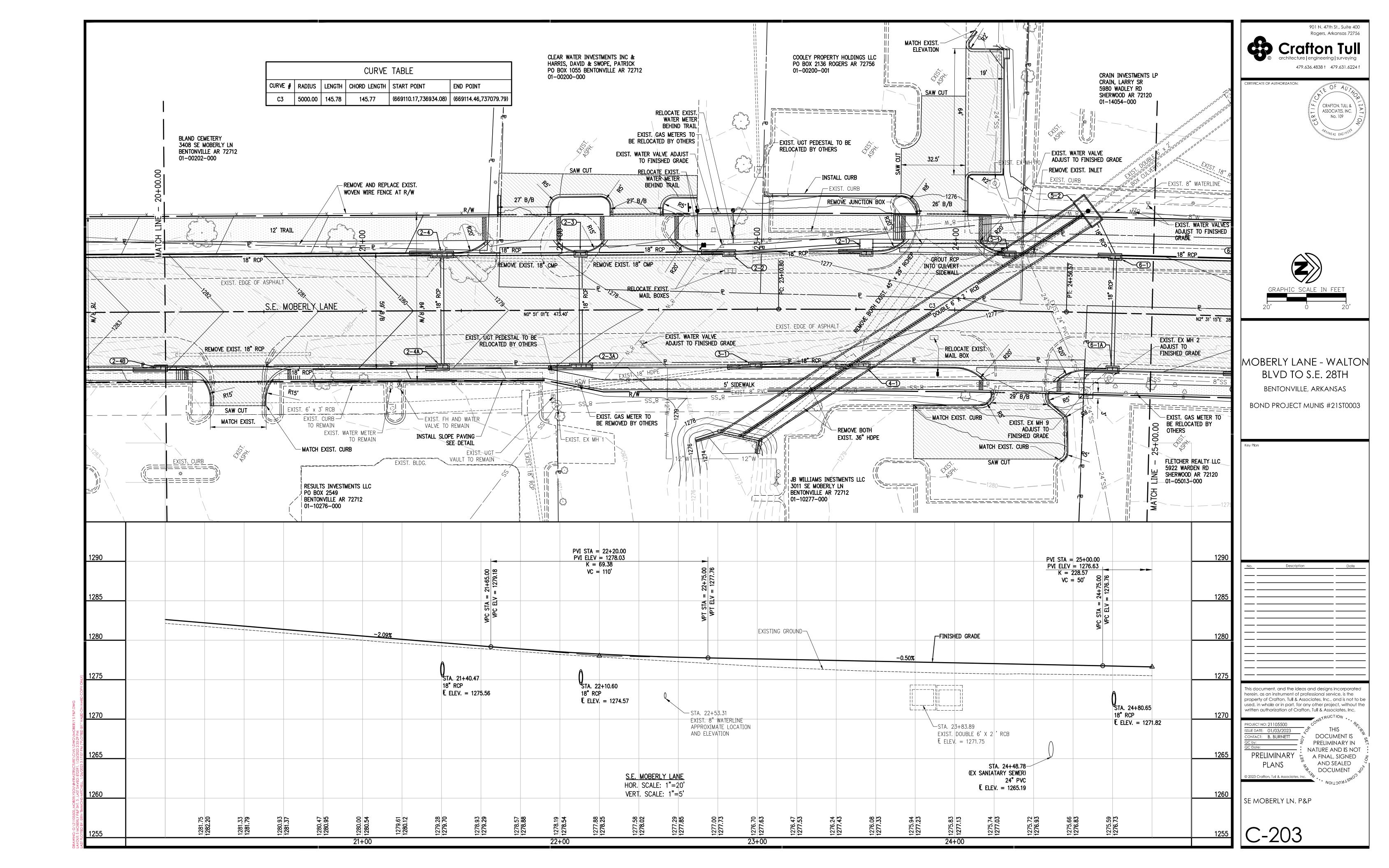
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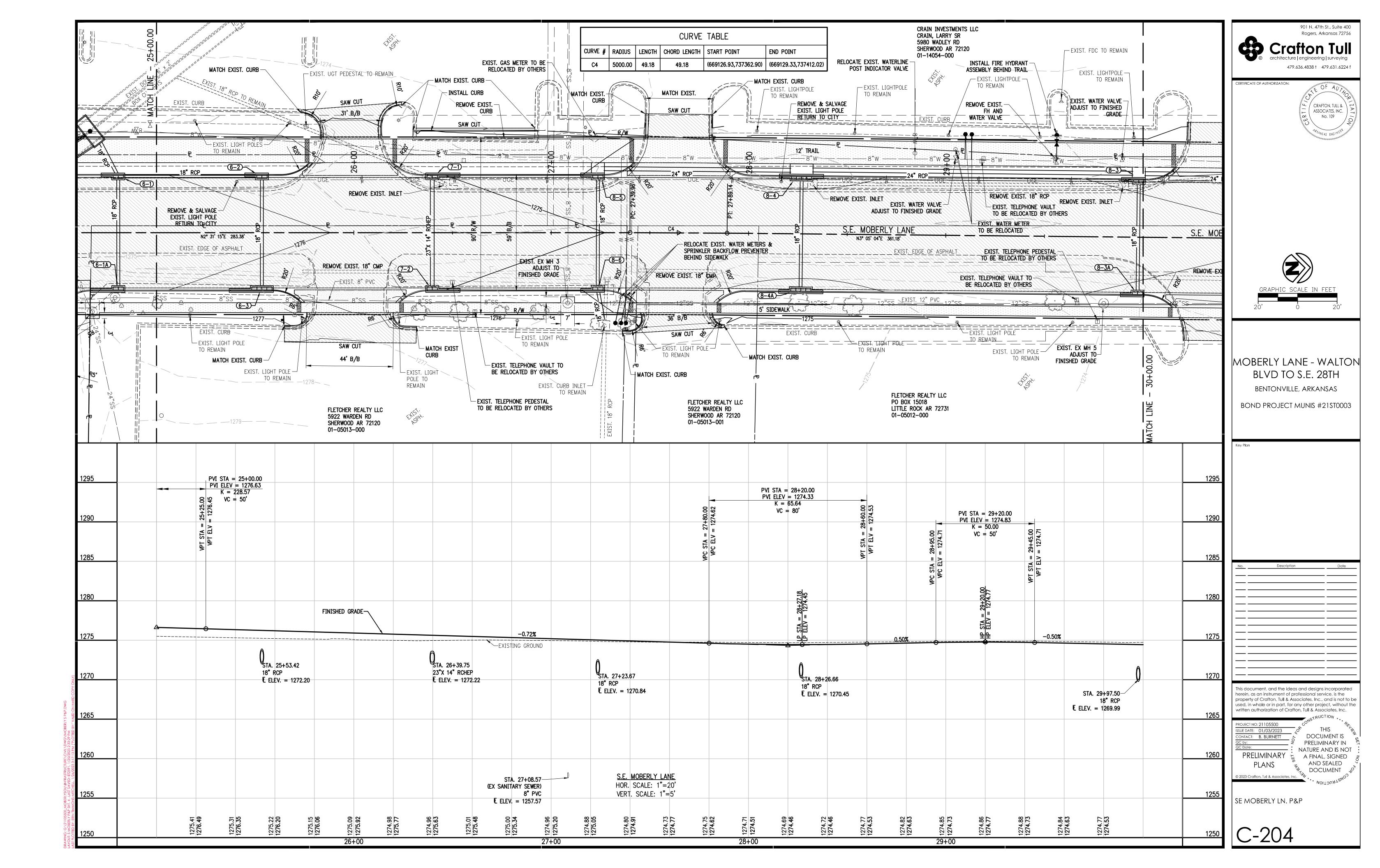
SITE LAYOUT PLAN

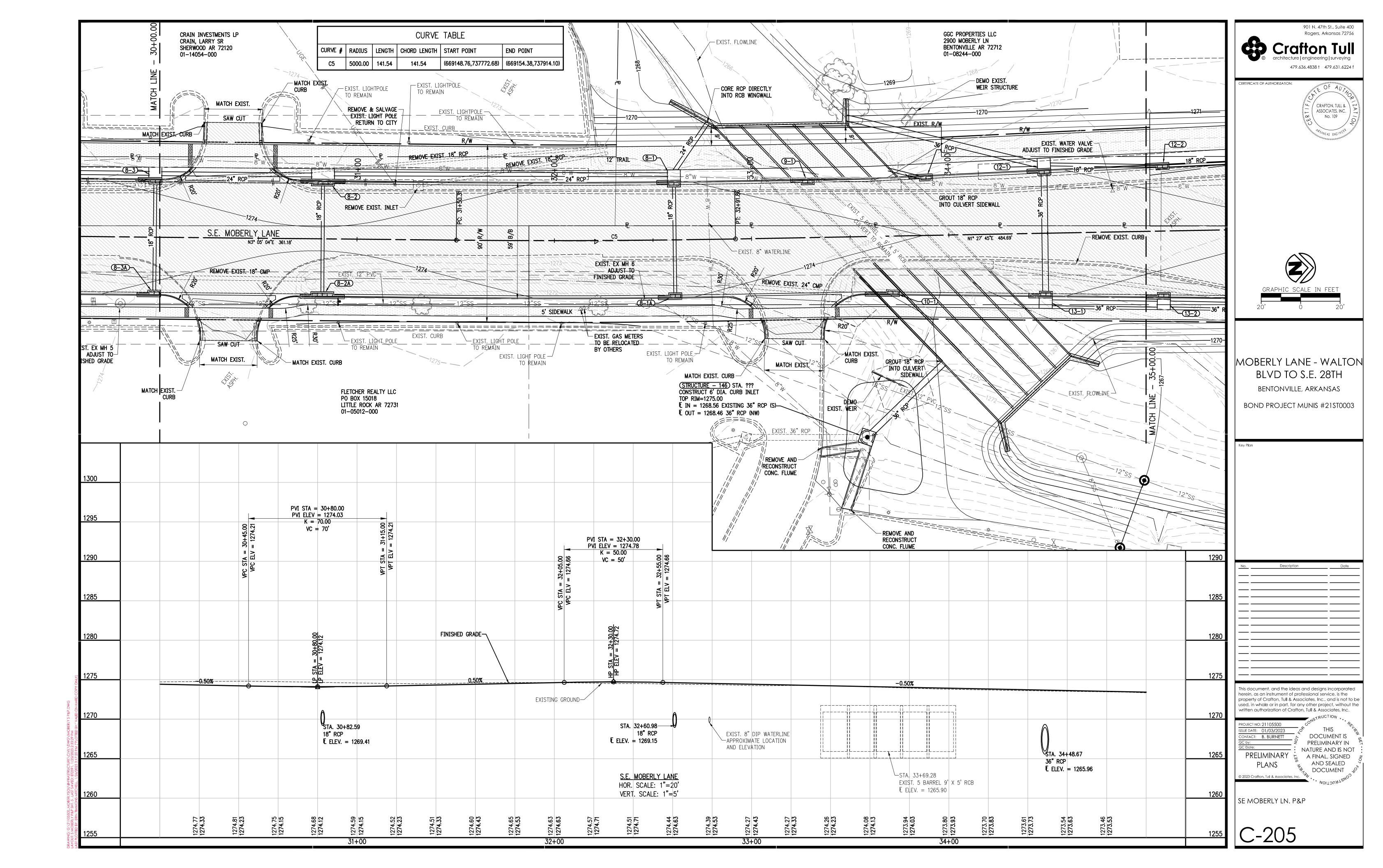
C-102

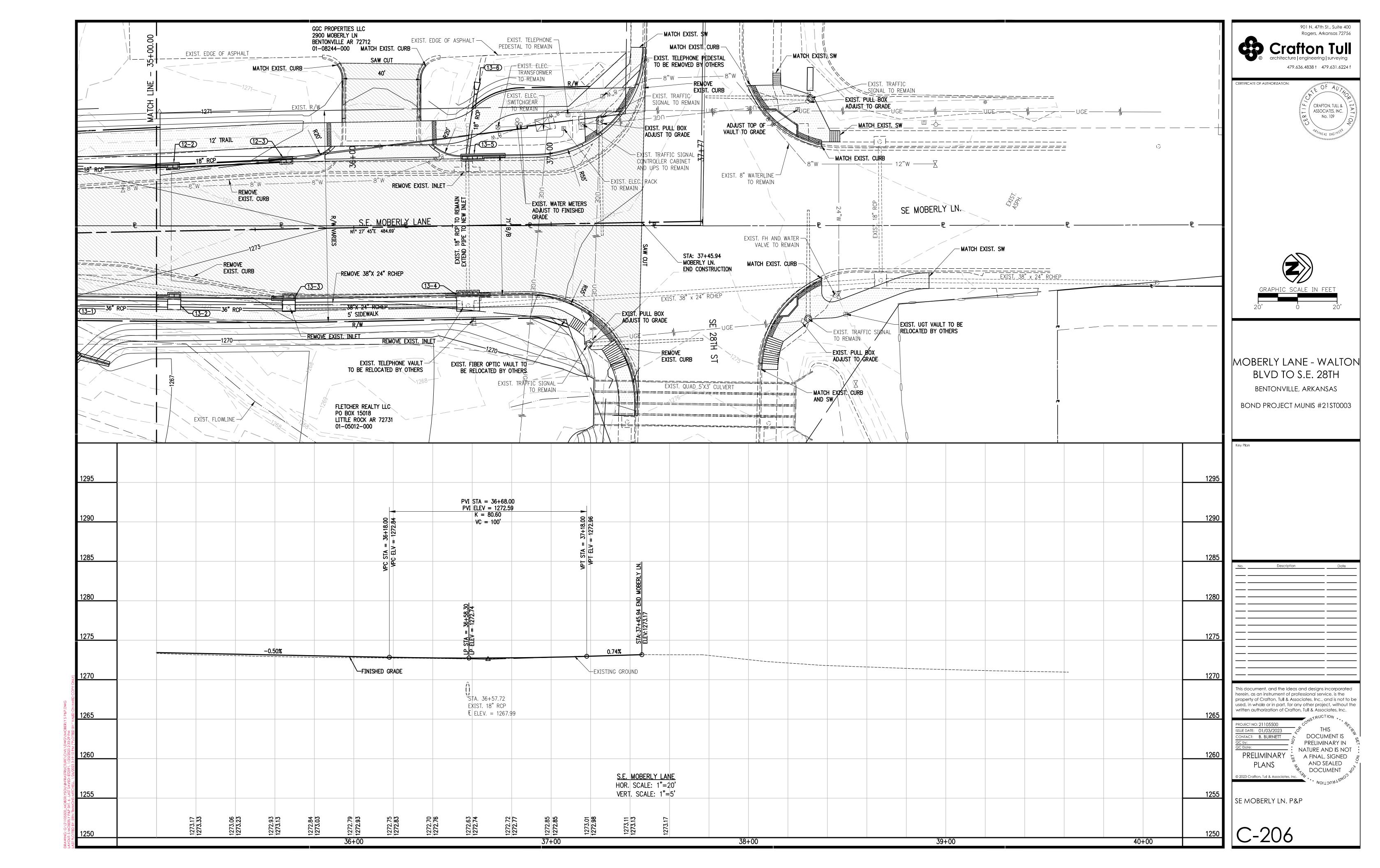


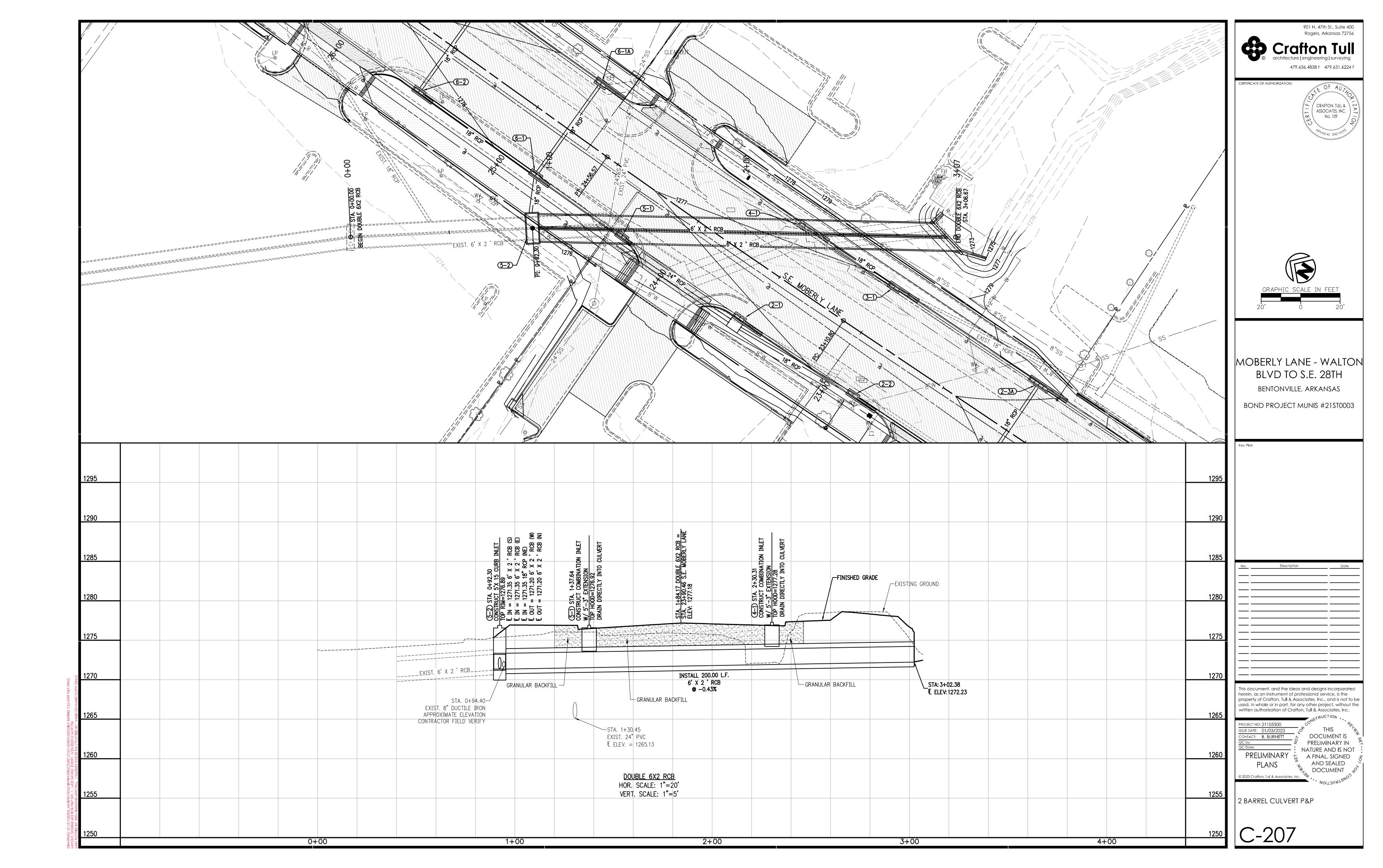


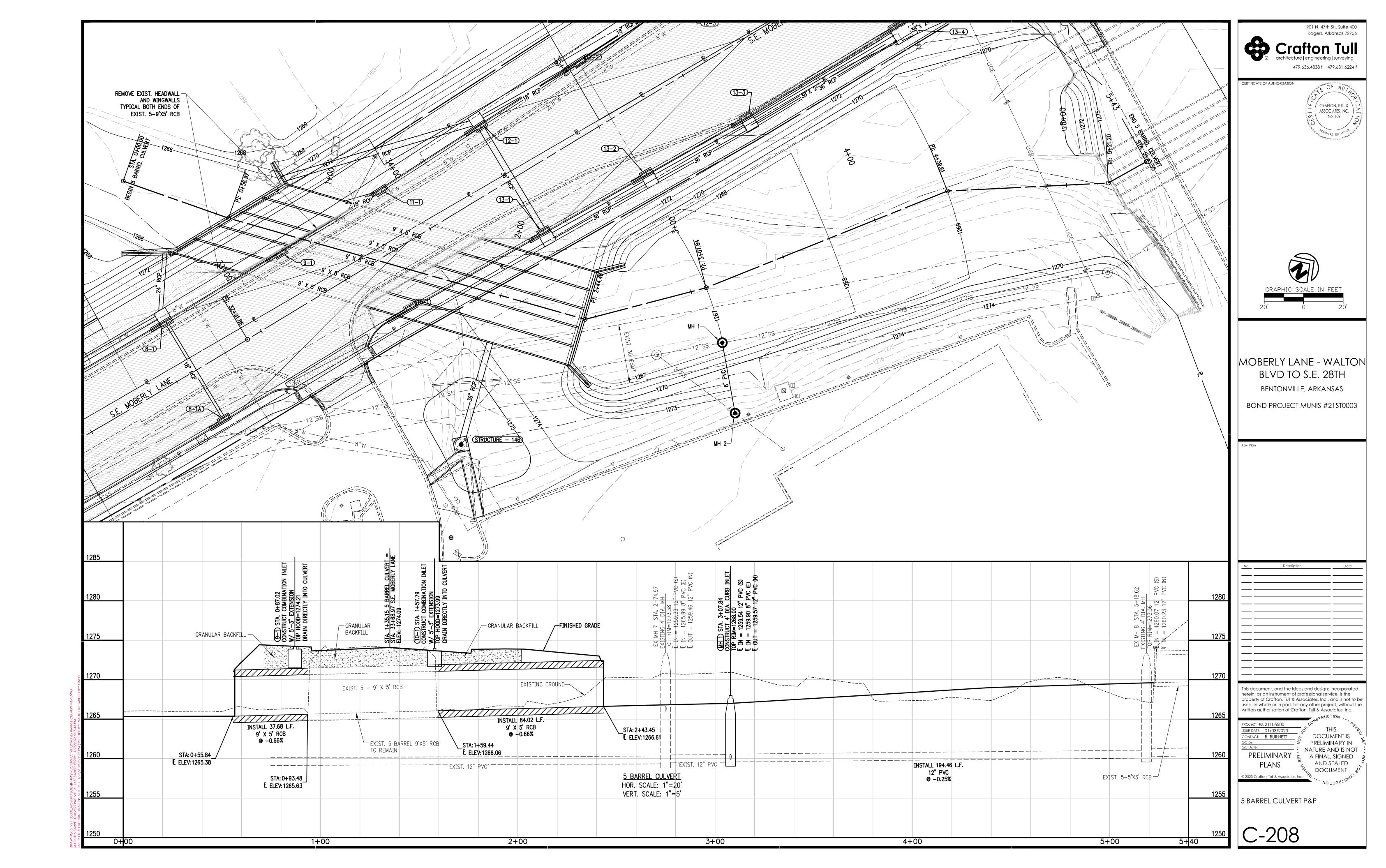


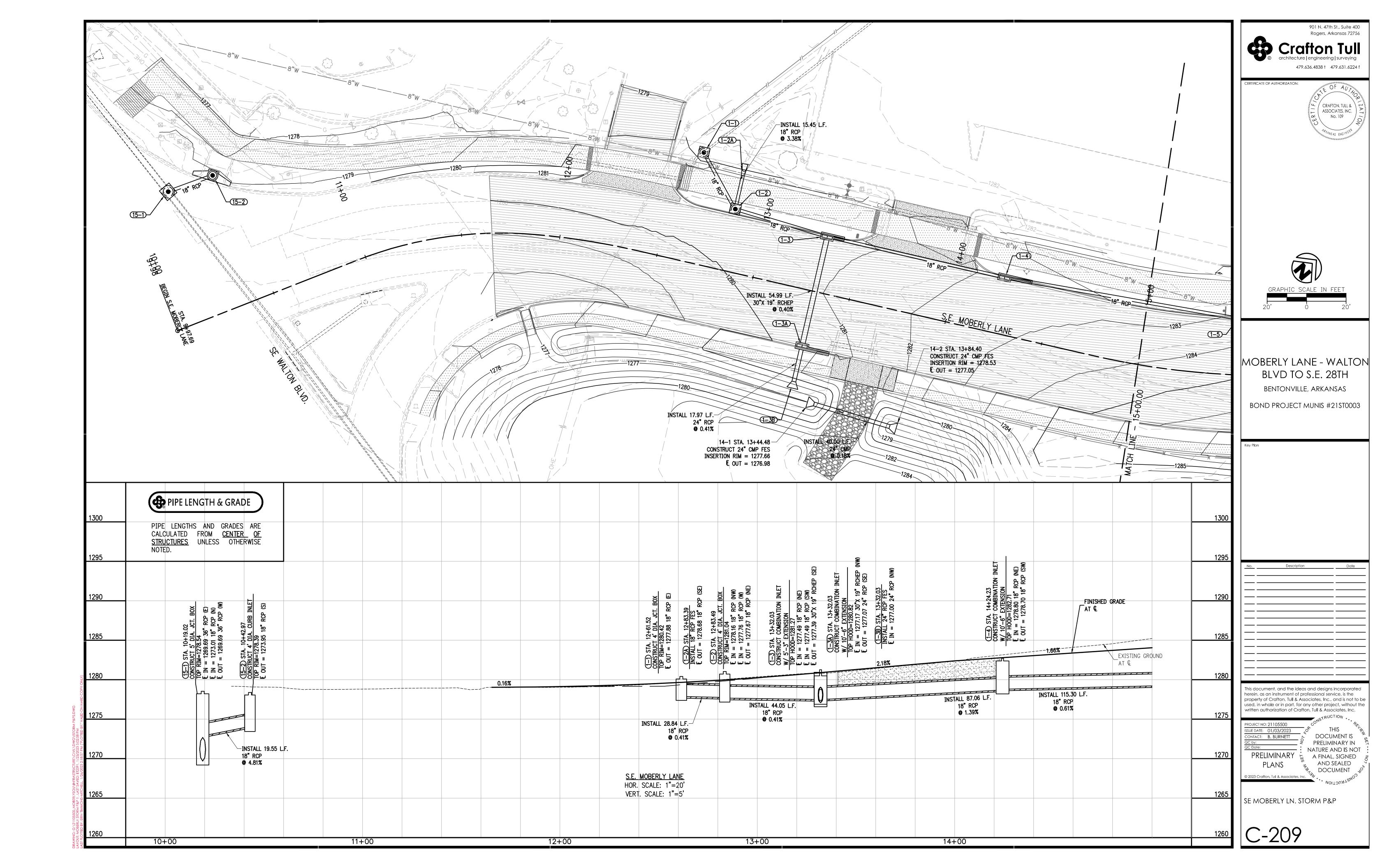


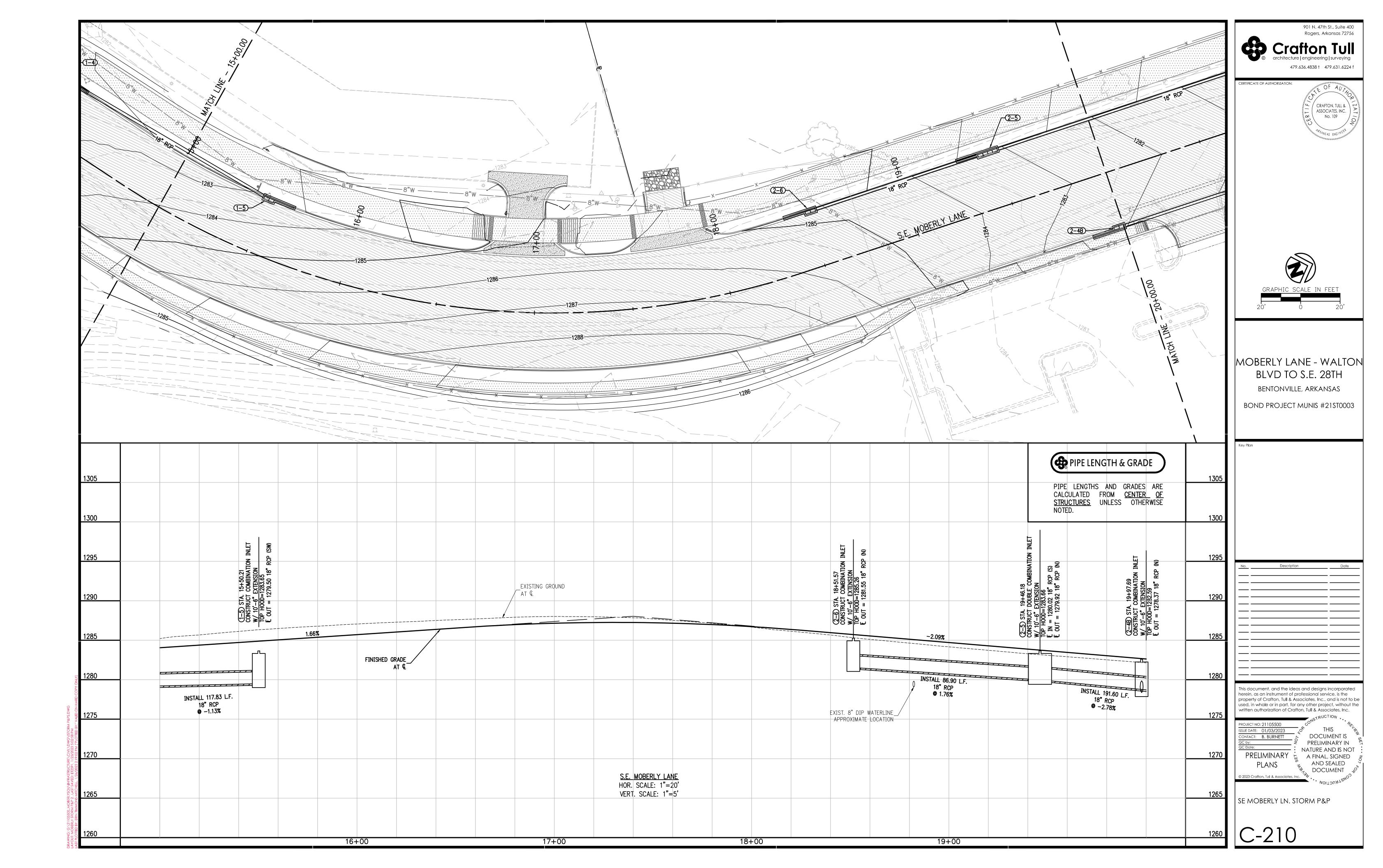


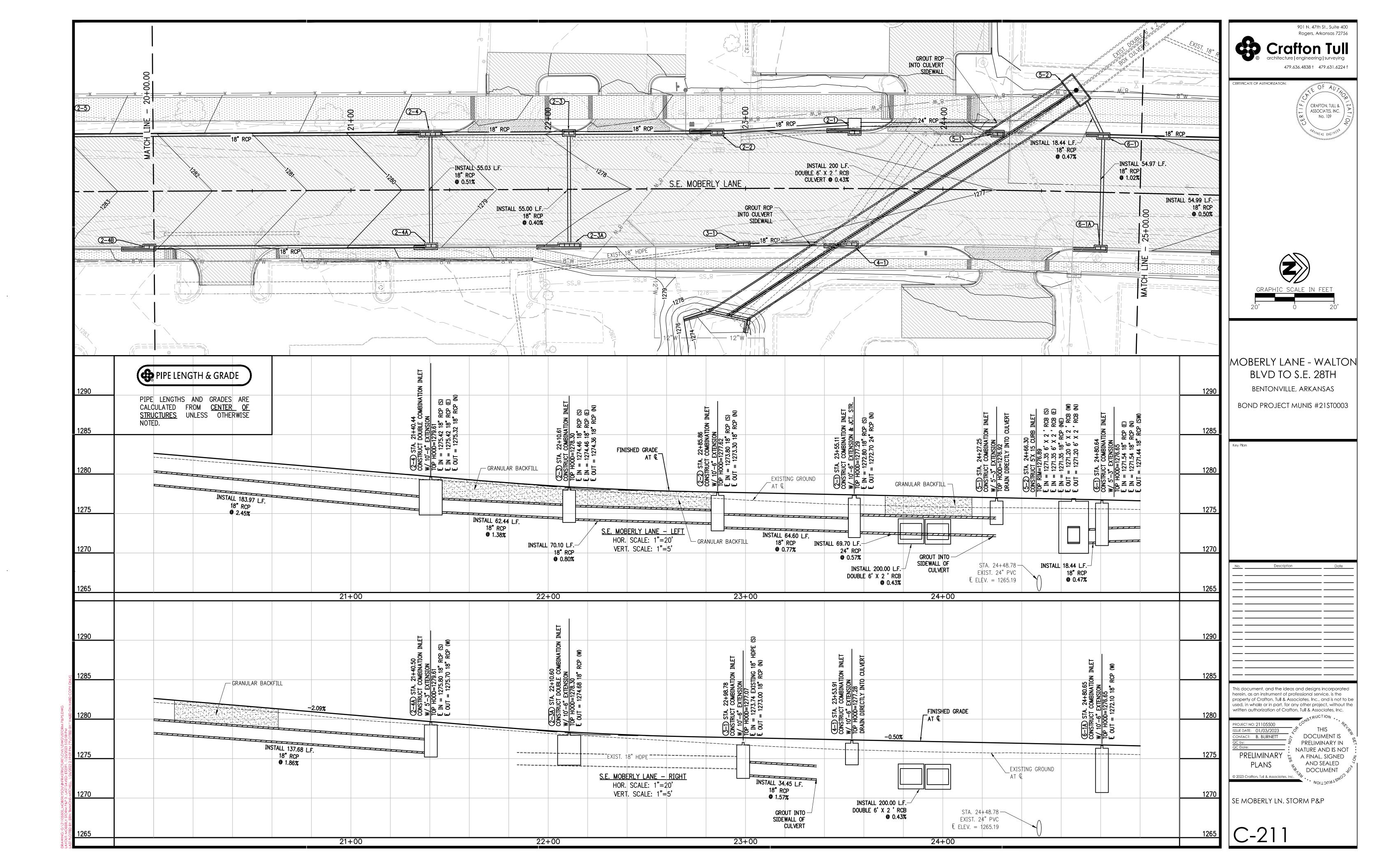


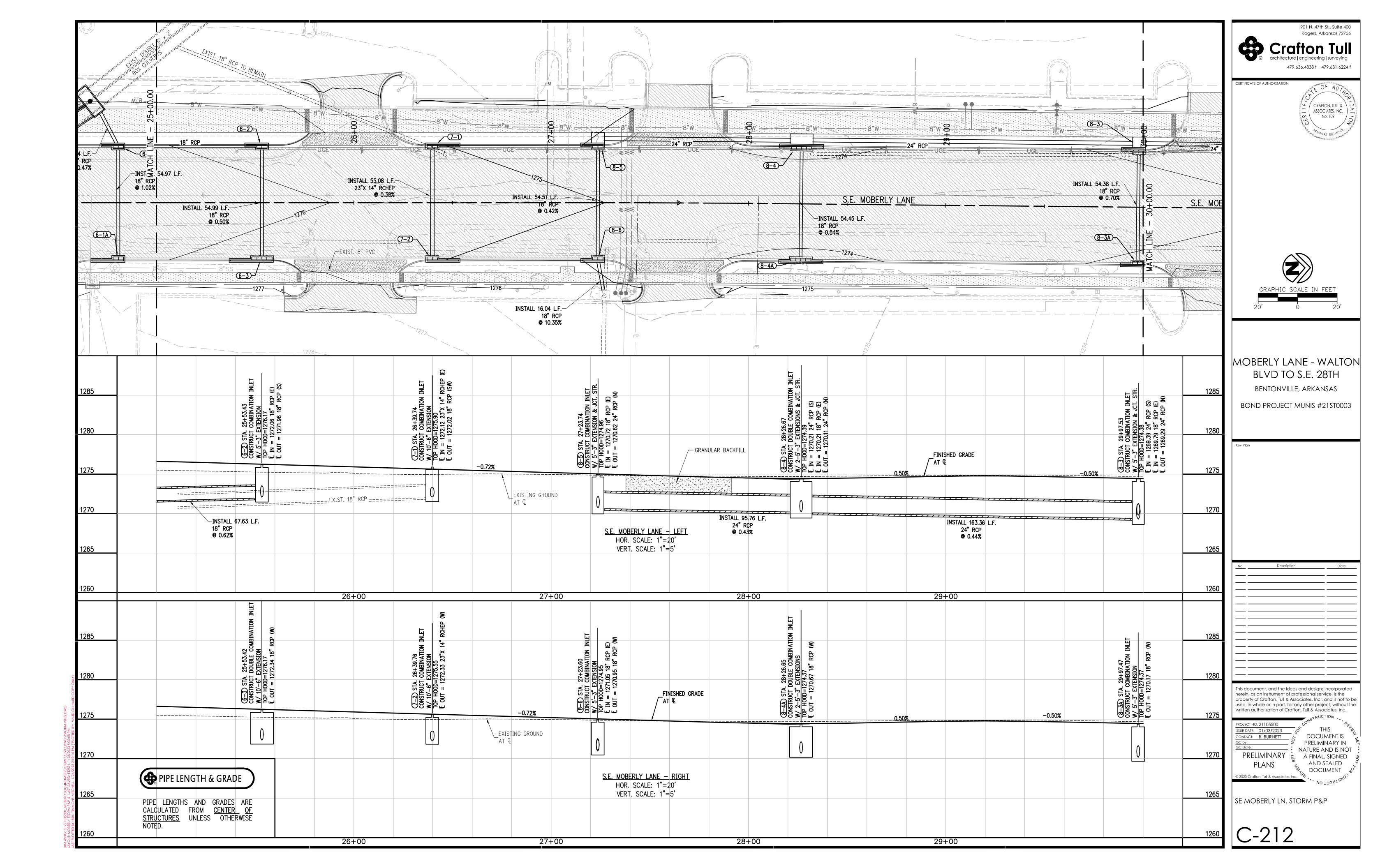


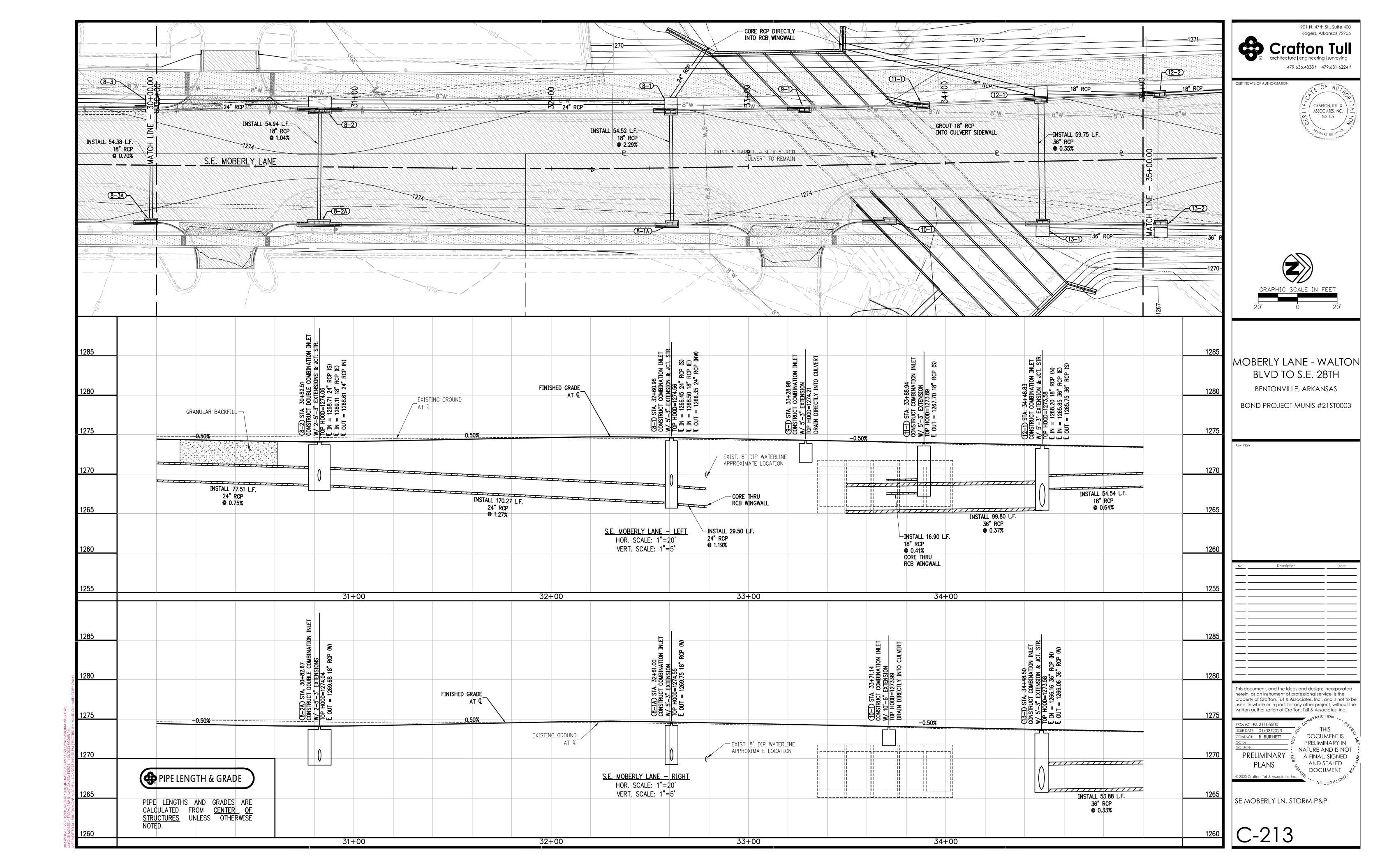


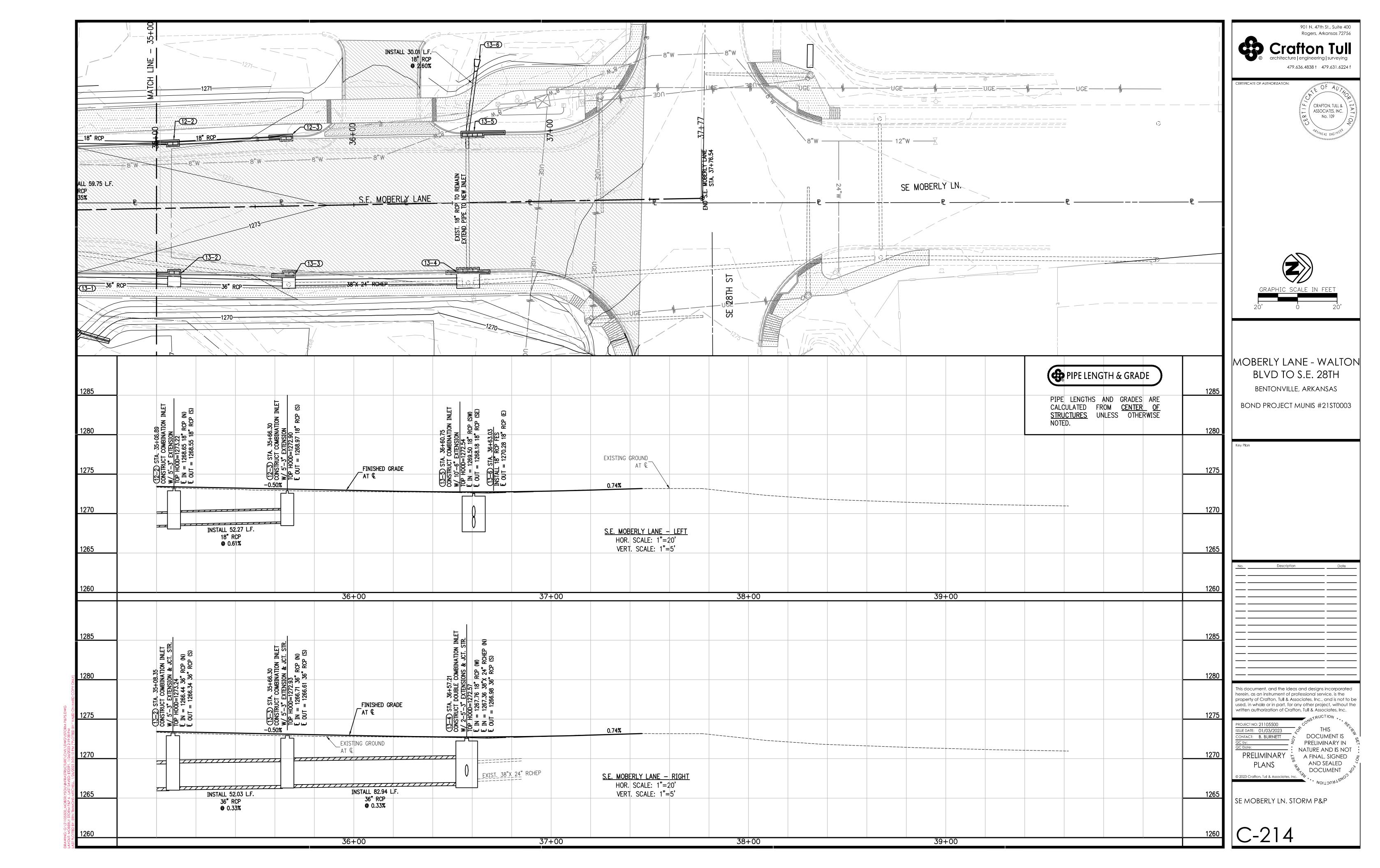


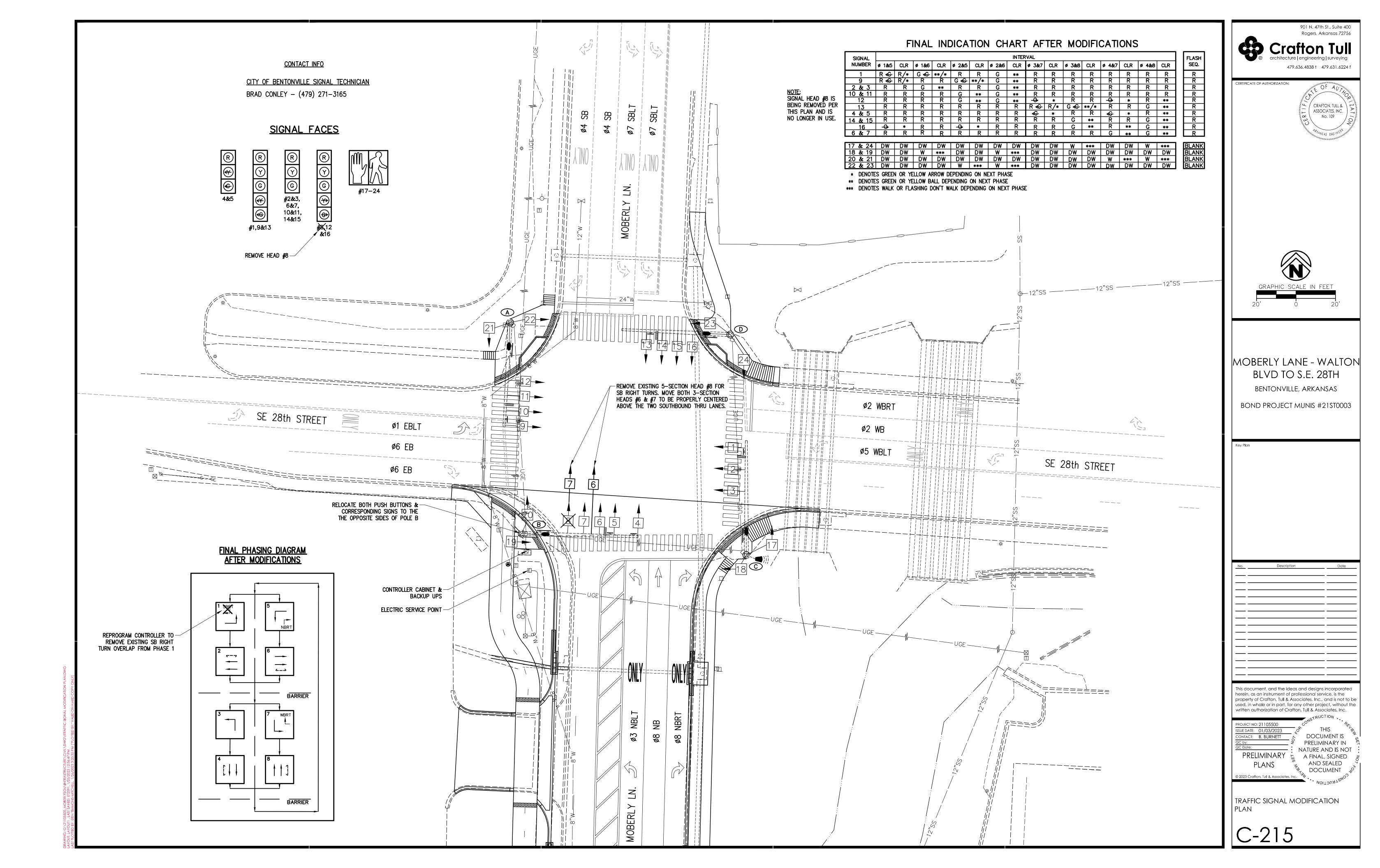


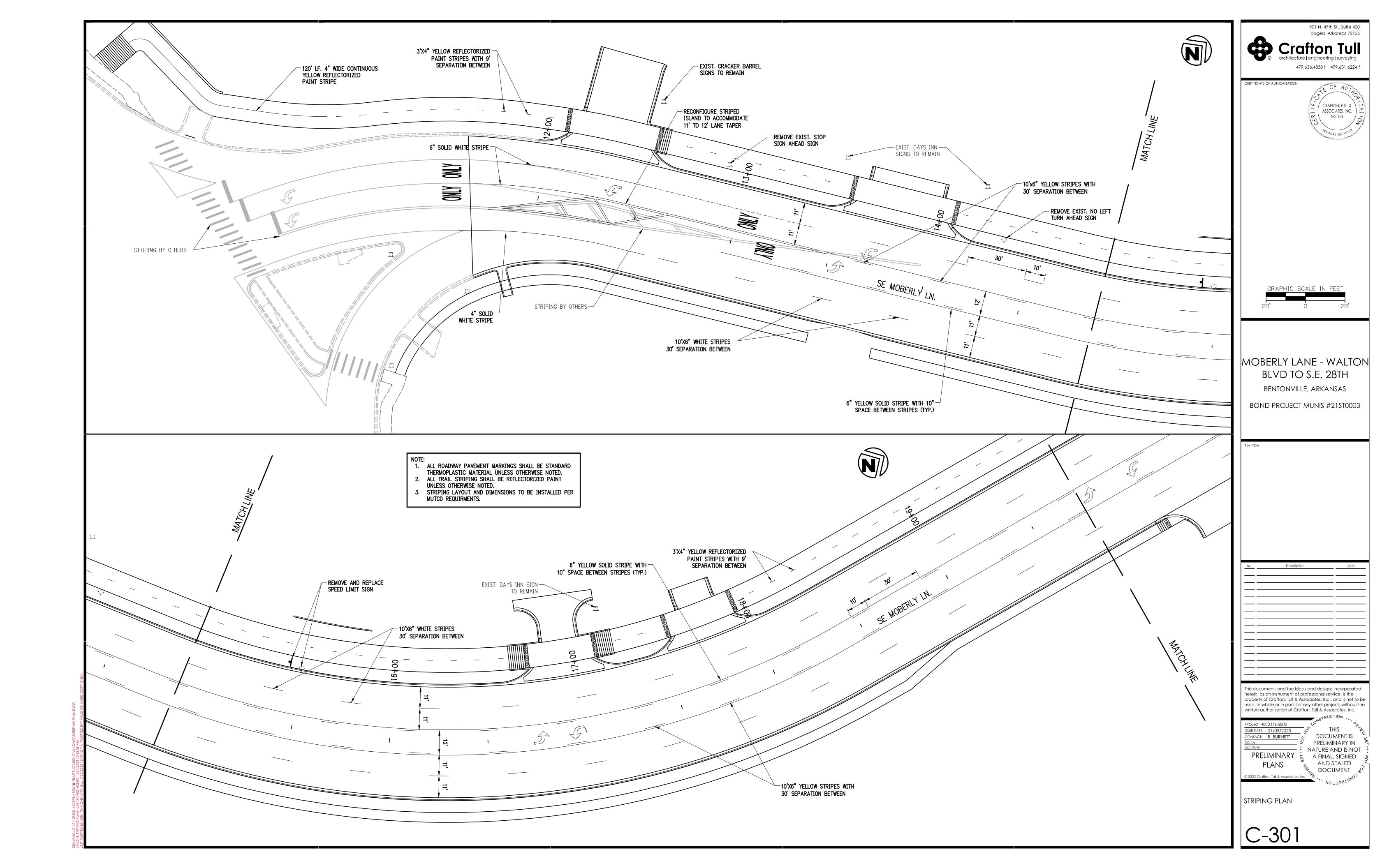


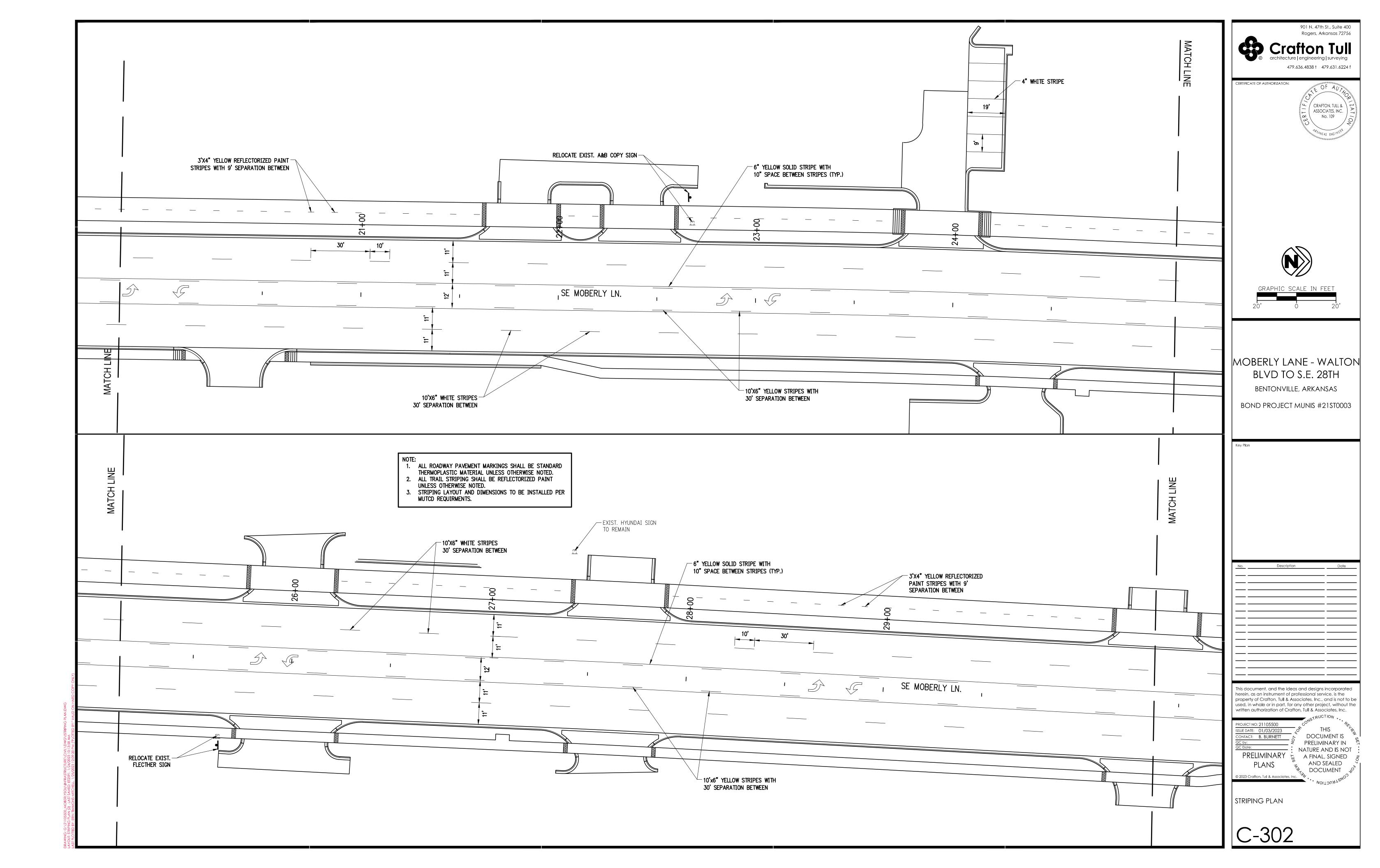


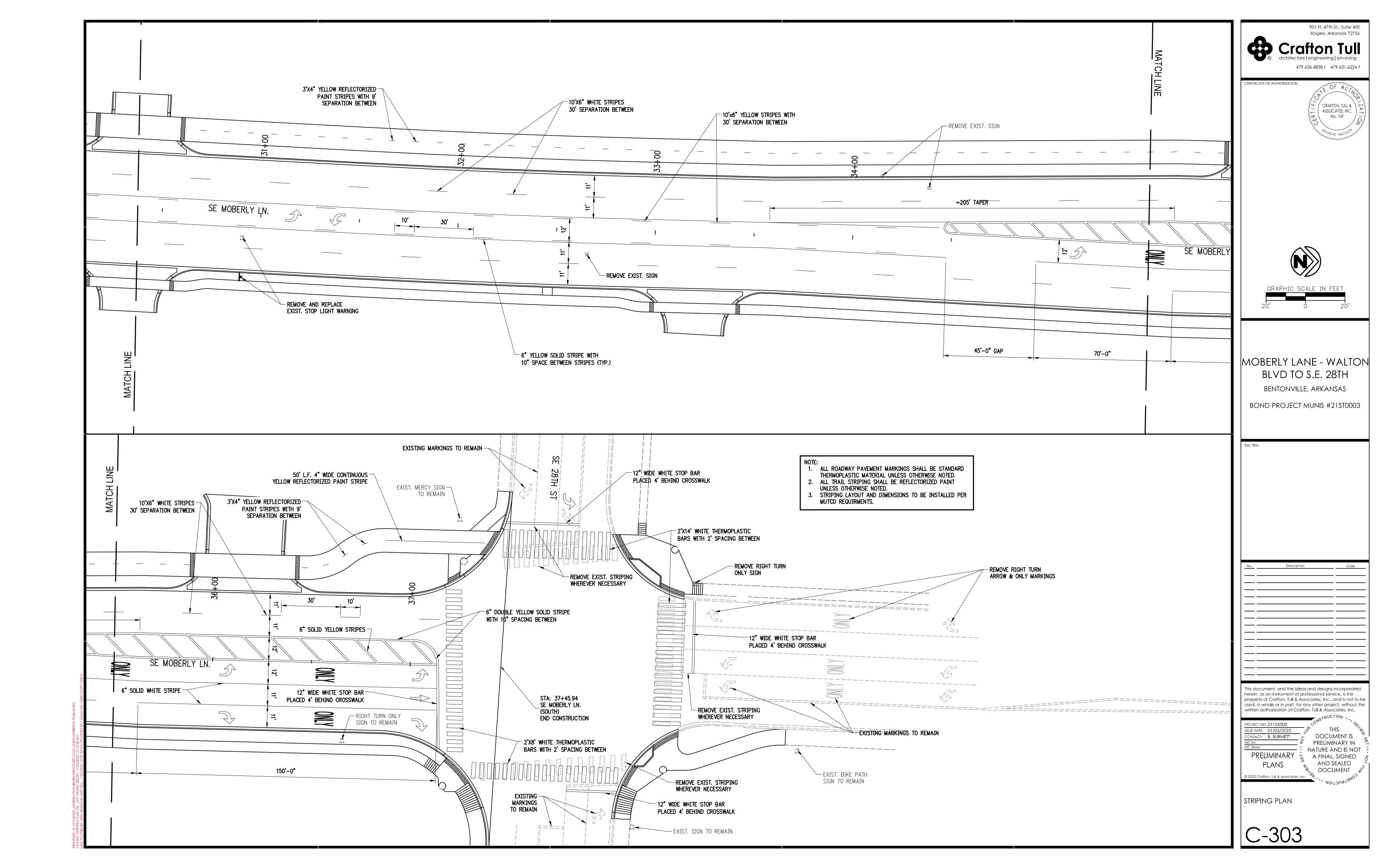


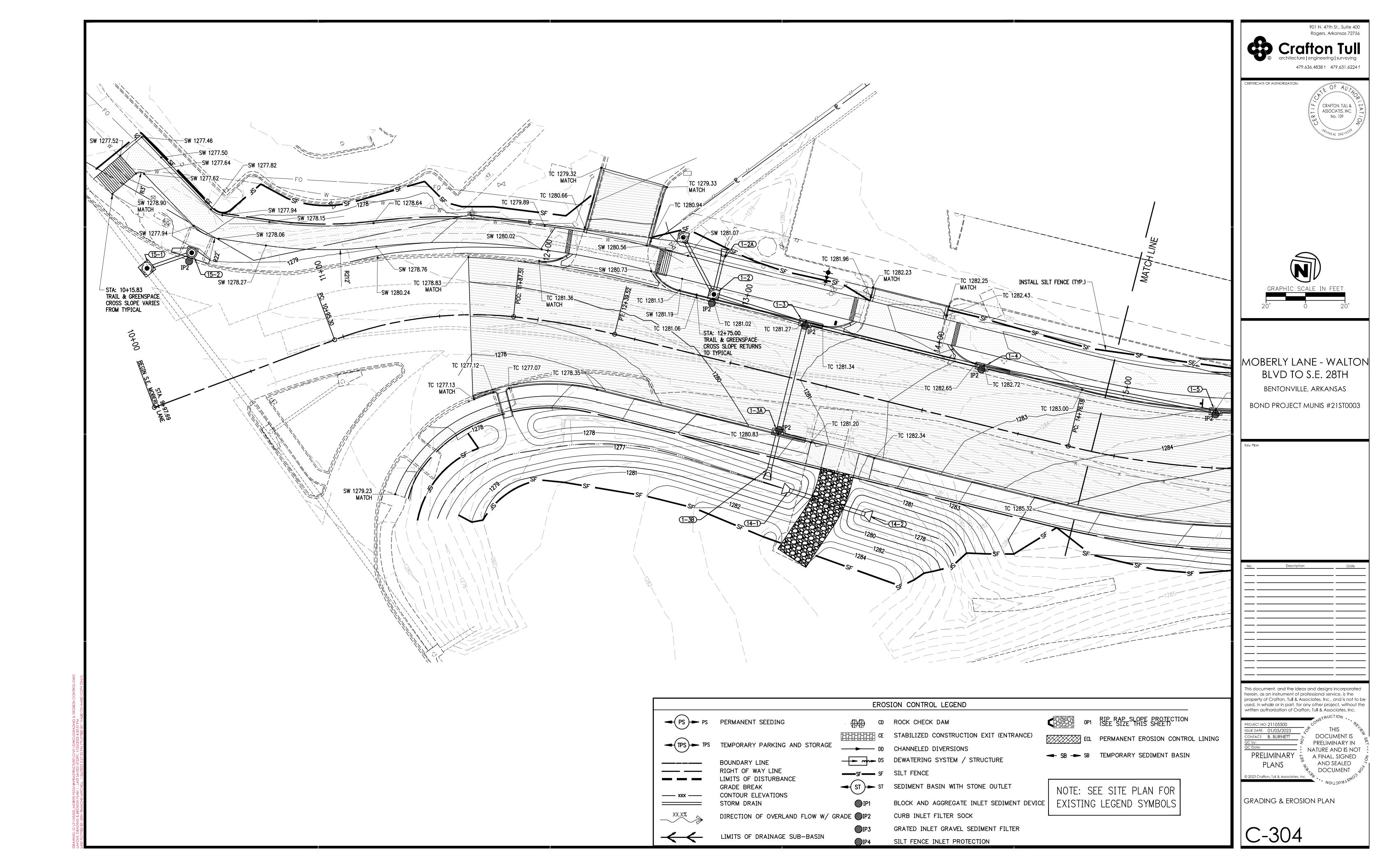


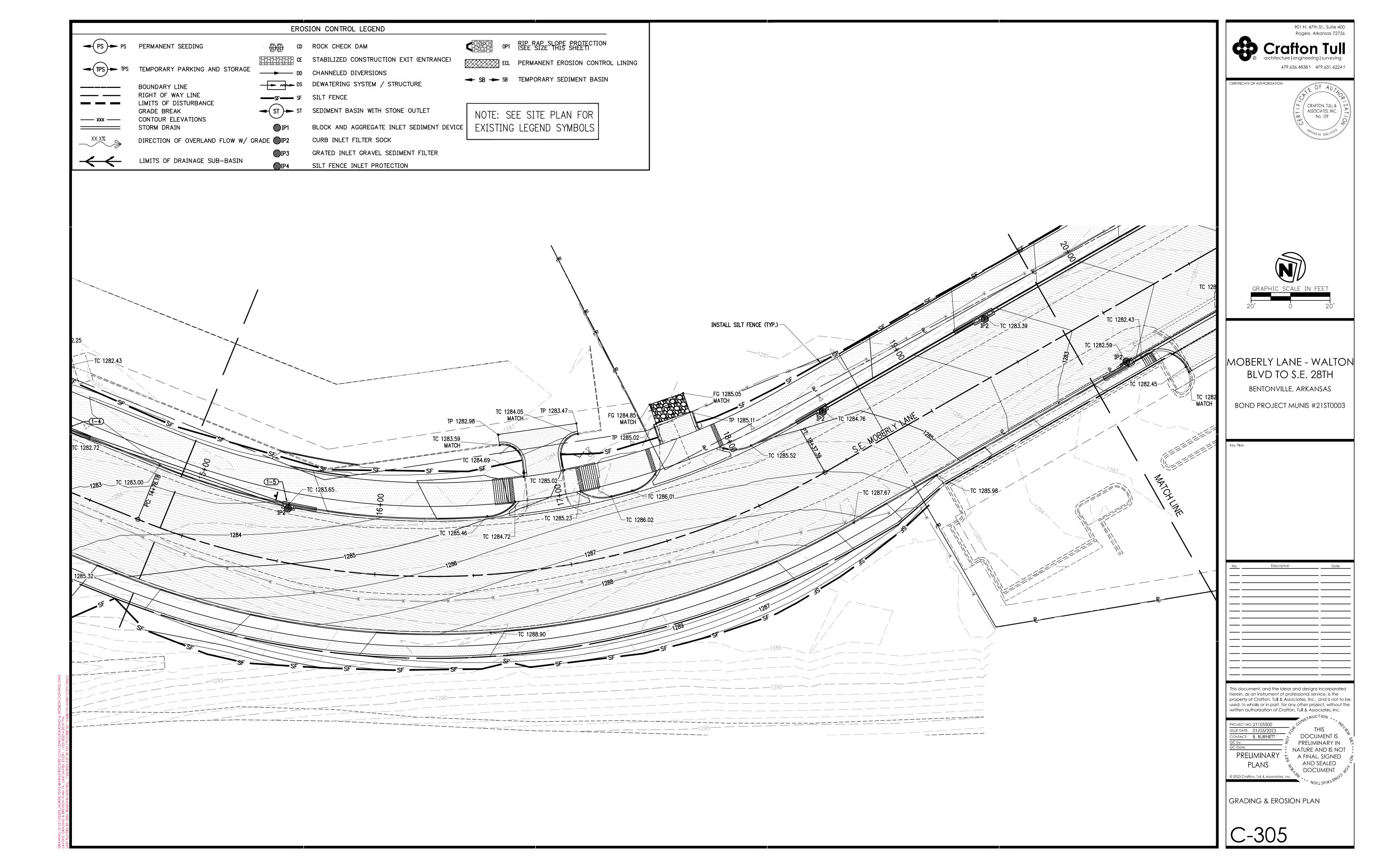


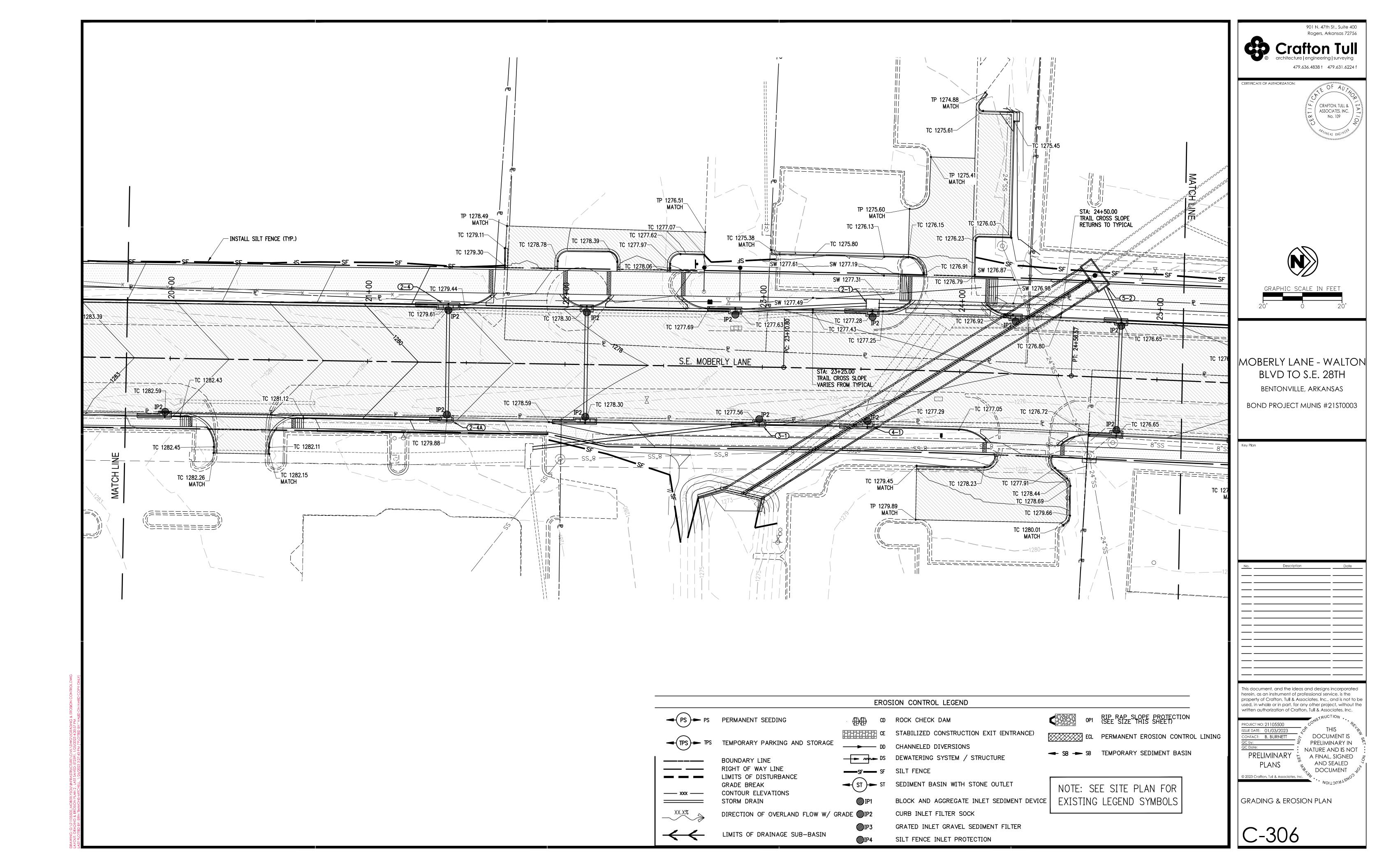


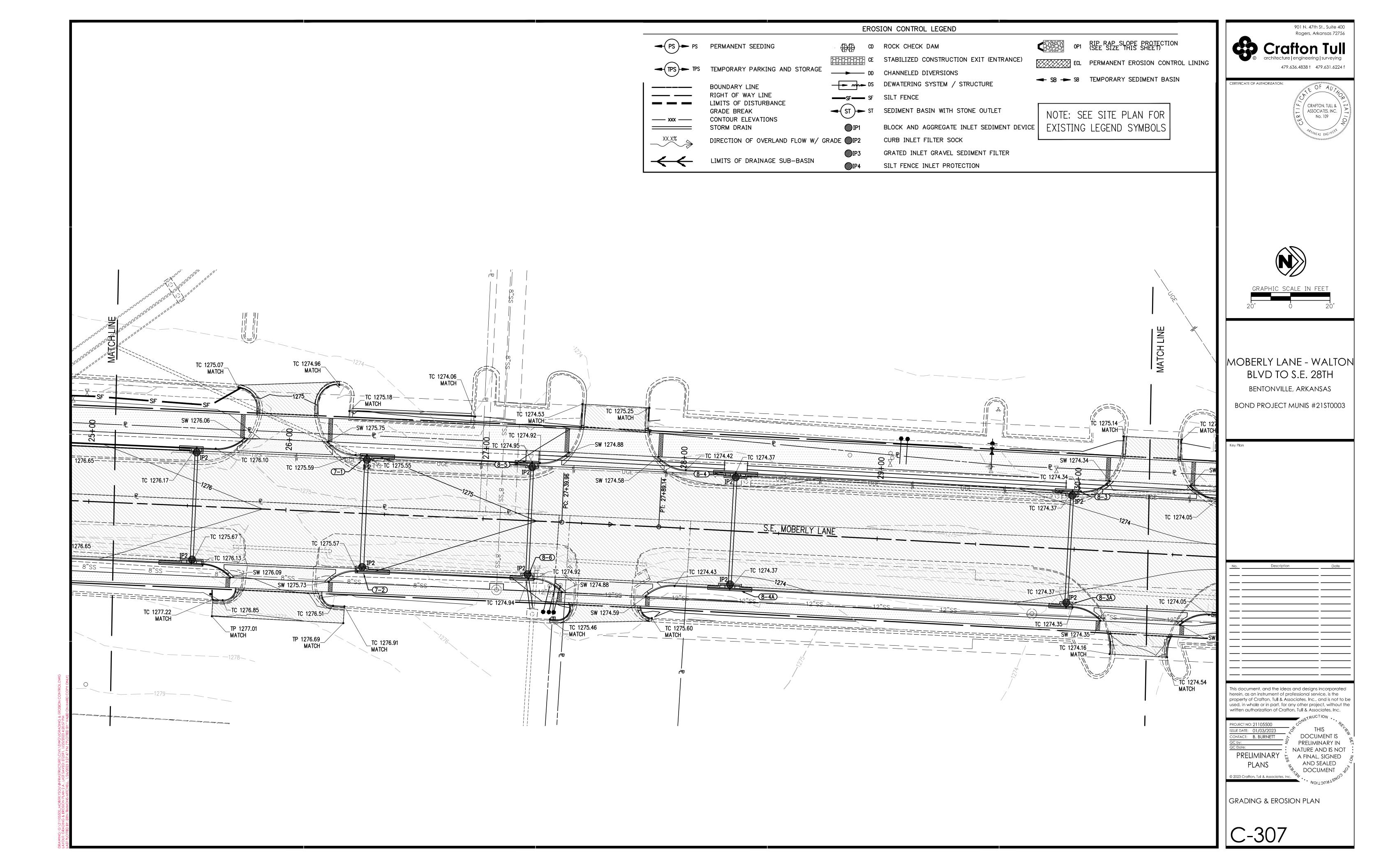


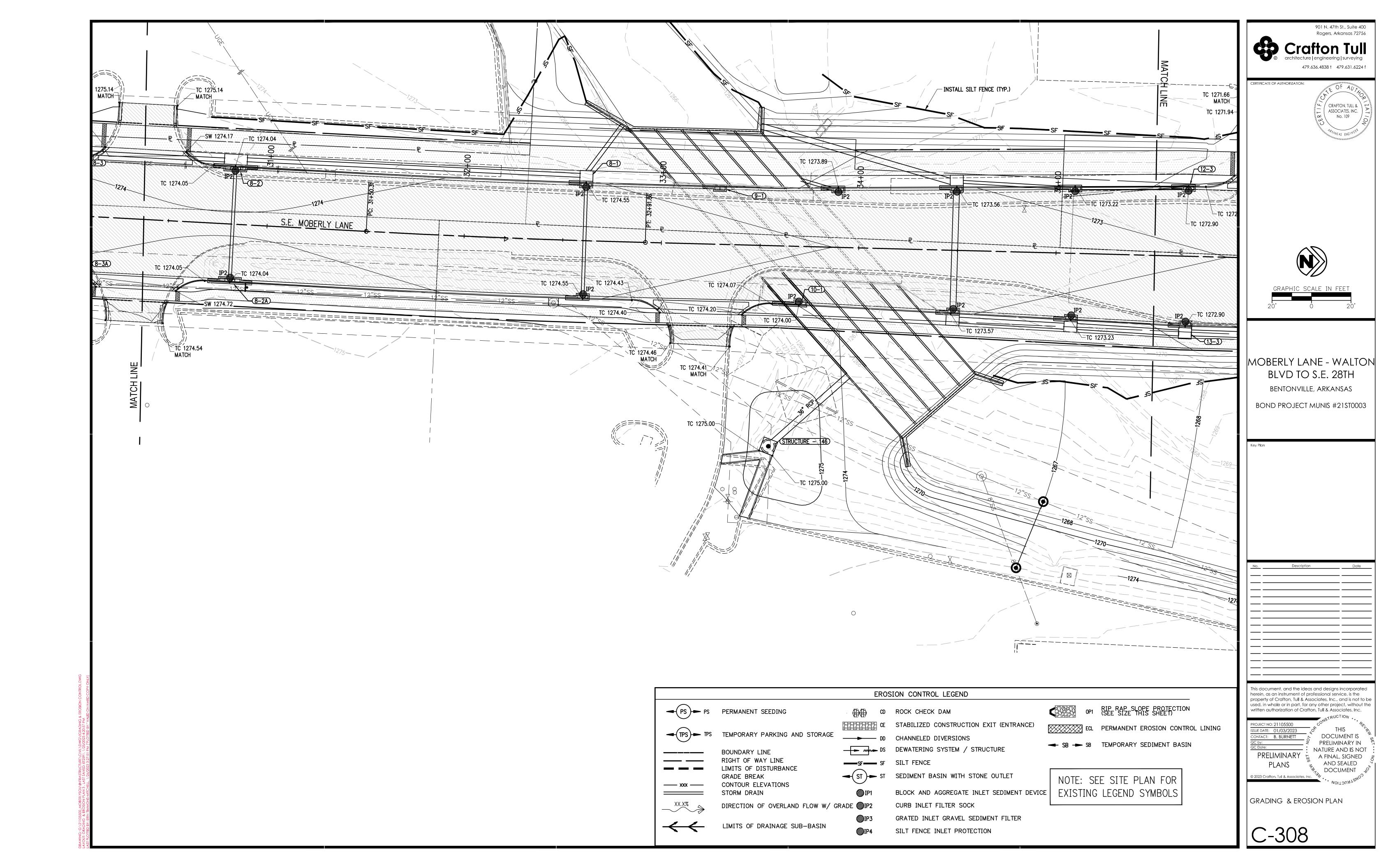


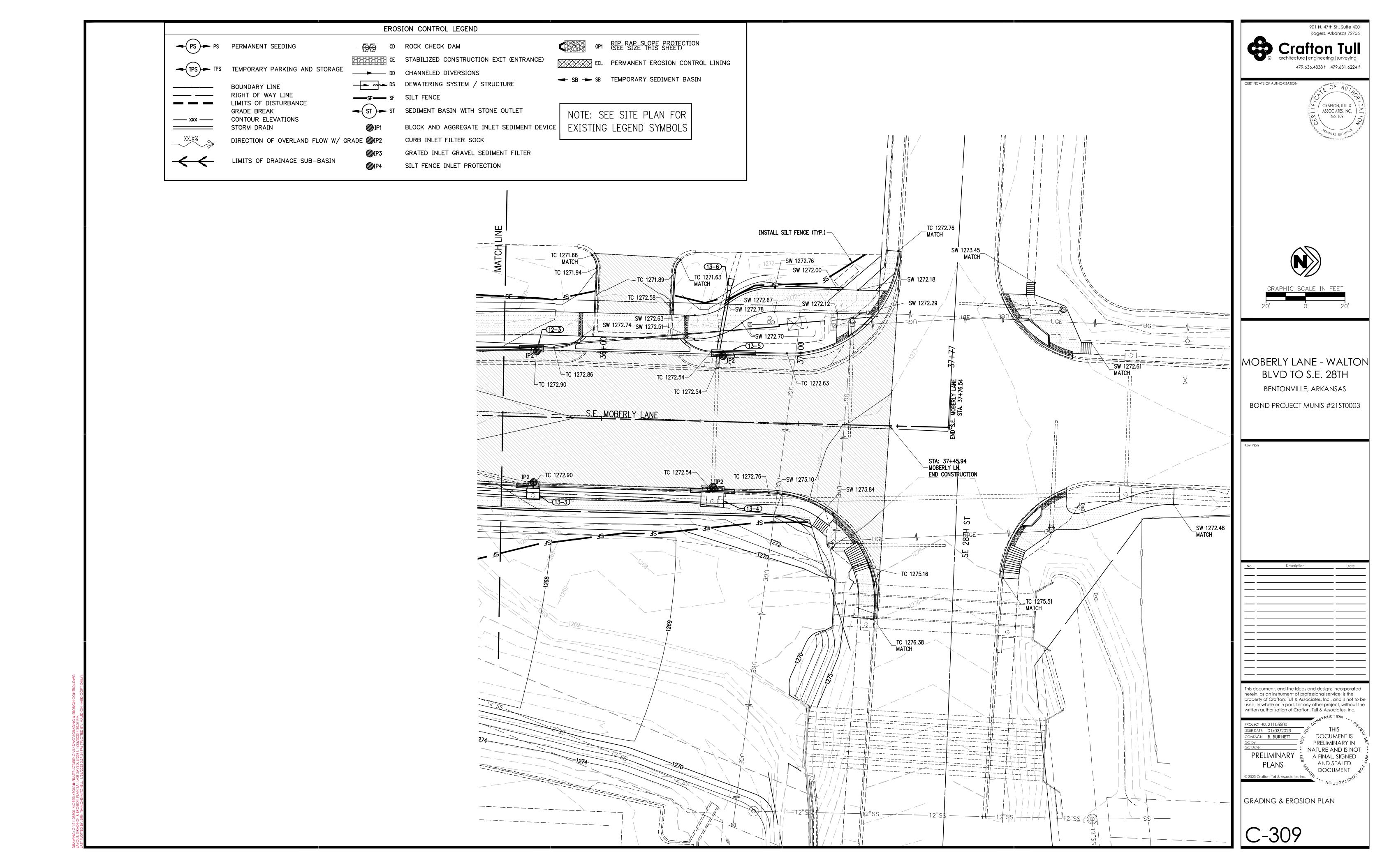


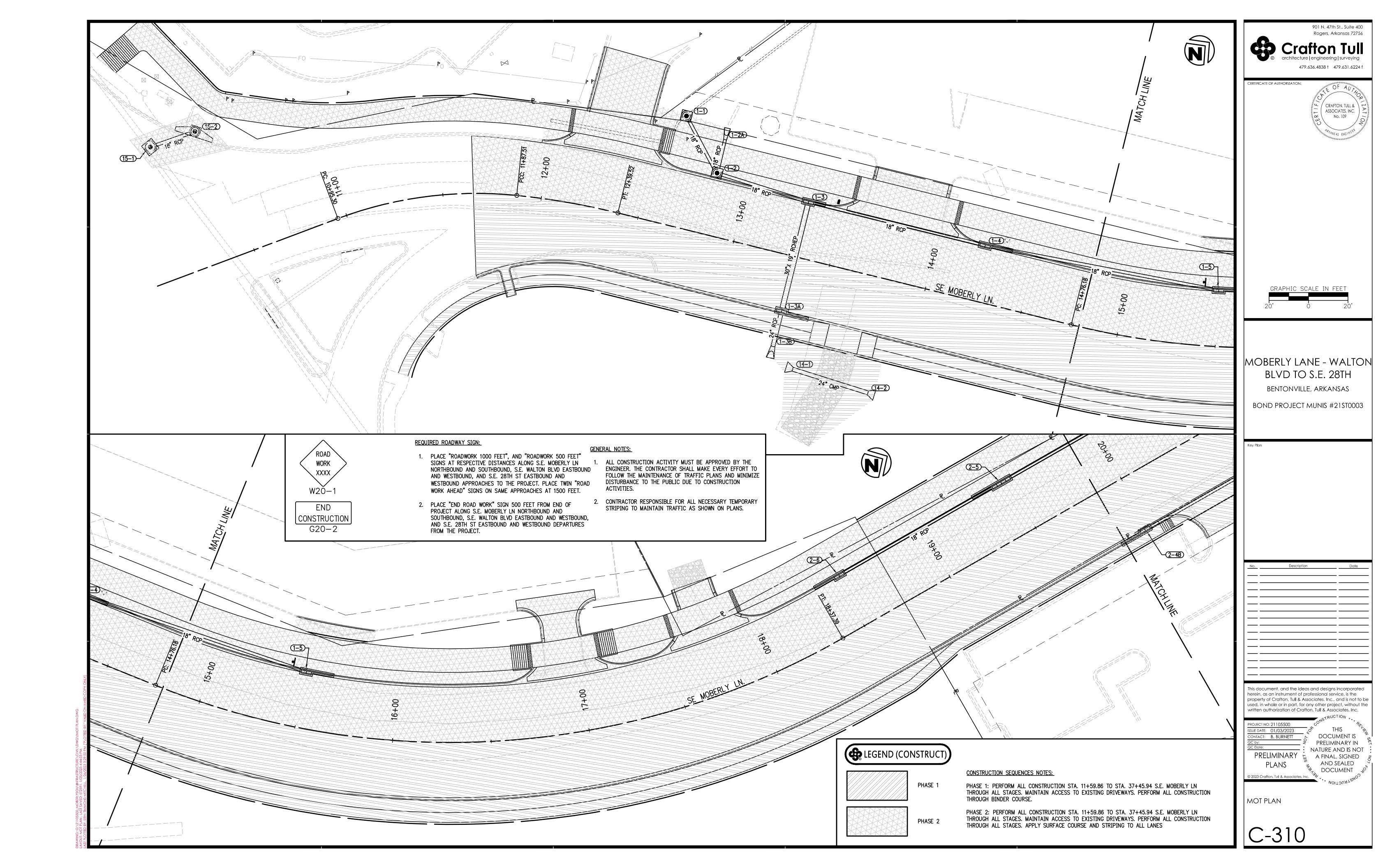


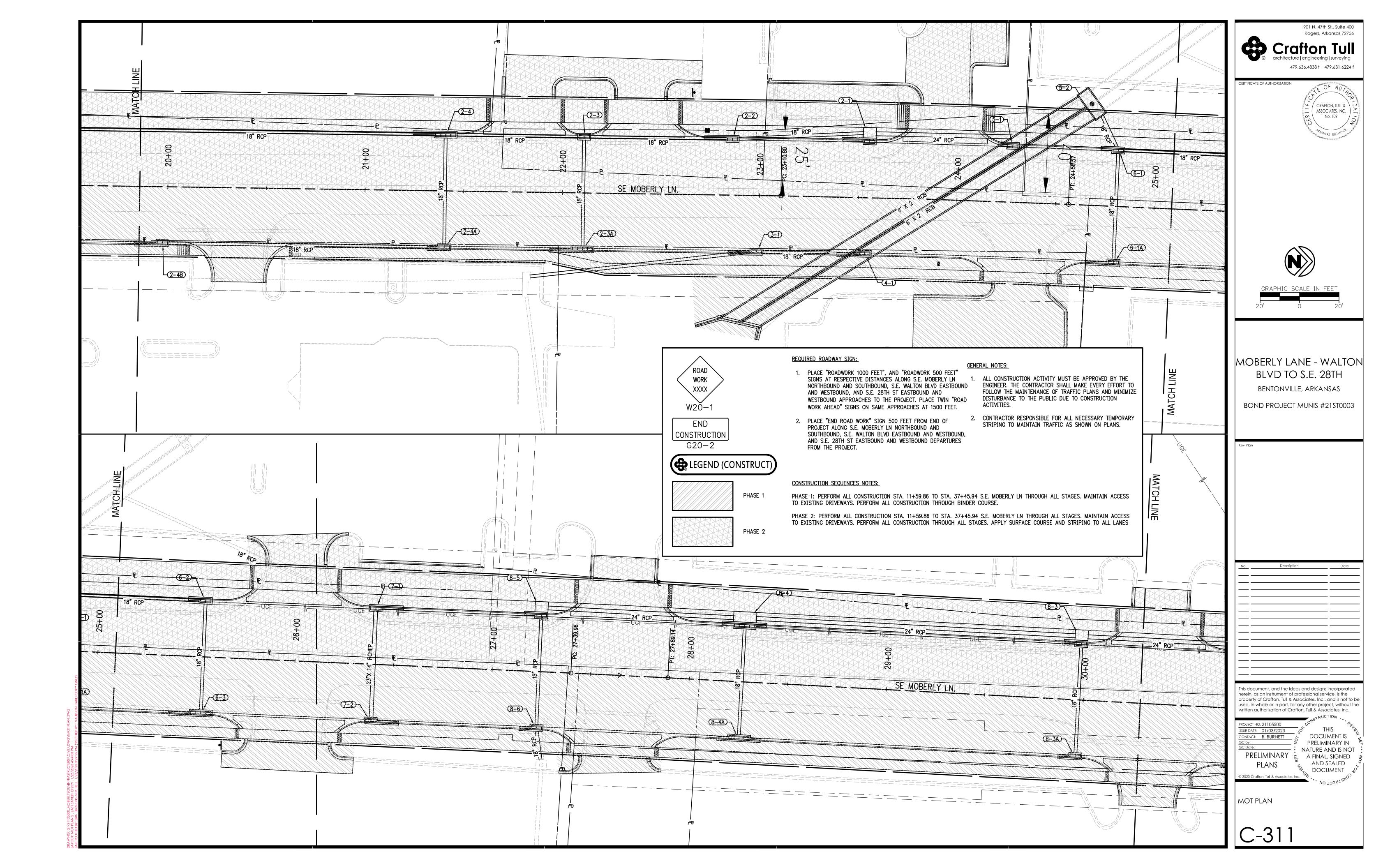


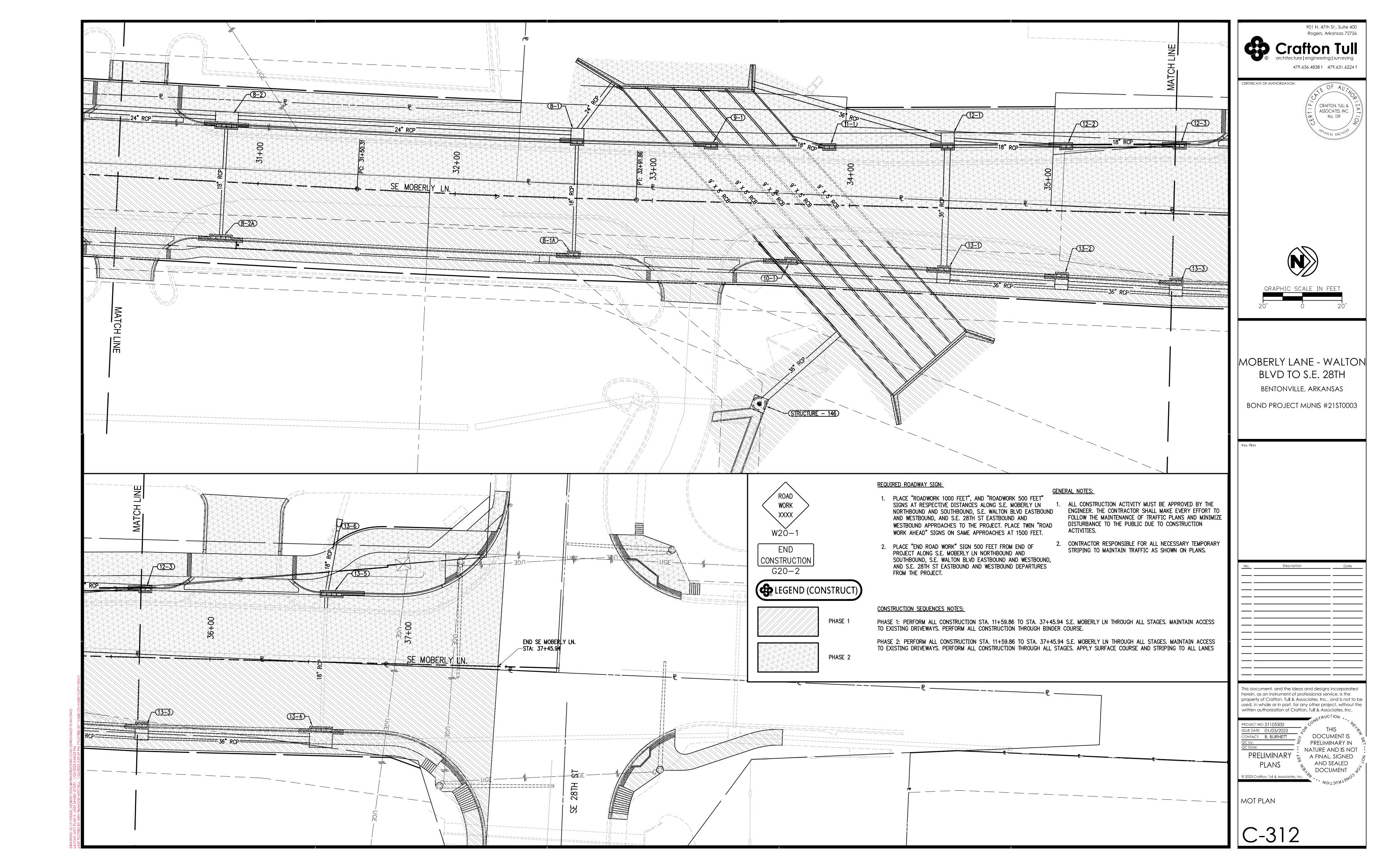


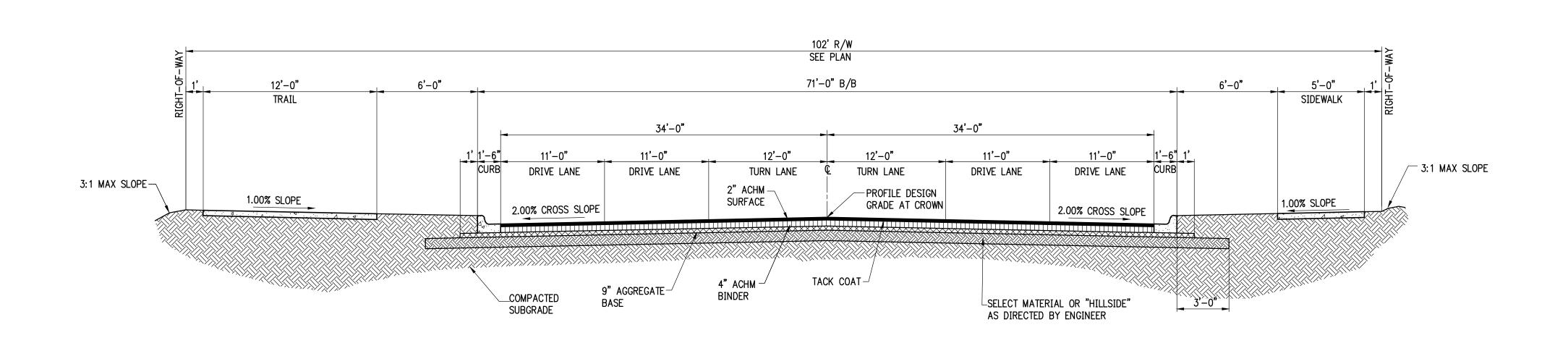






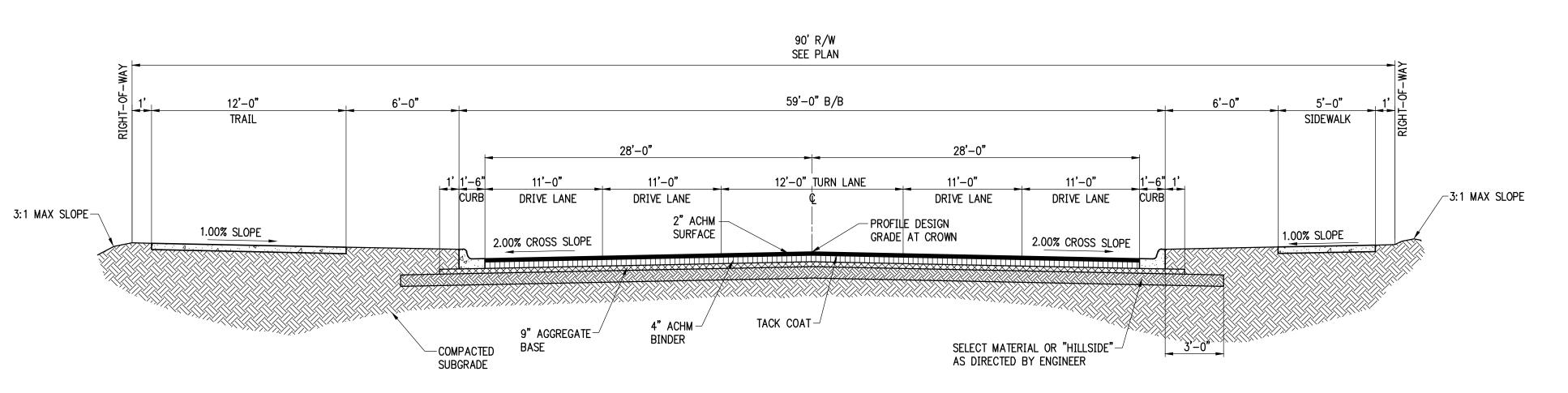






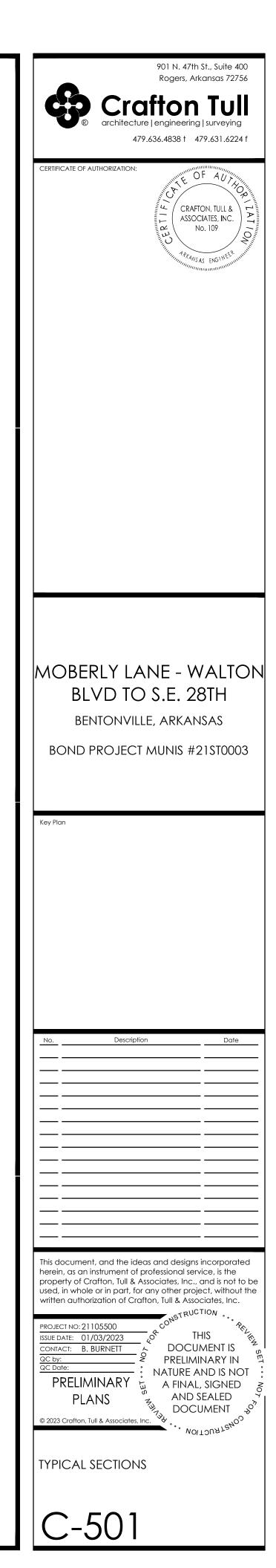
TYPICAL 6-LANE ASPHALT STREET SECTION

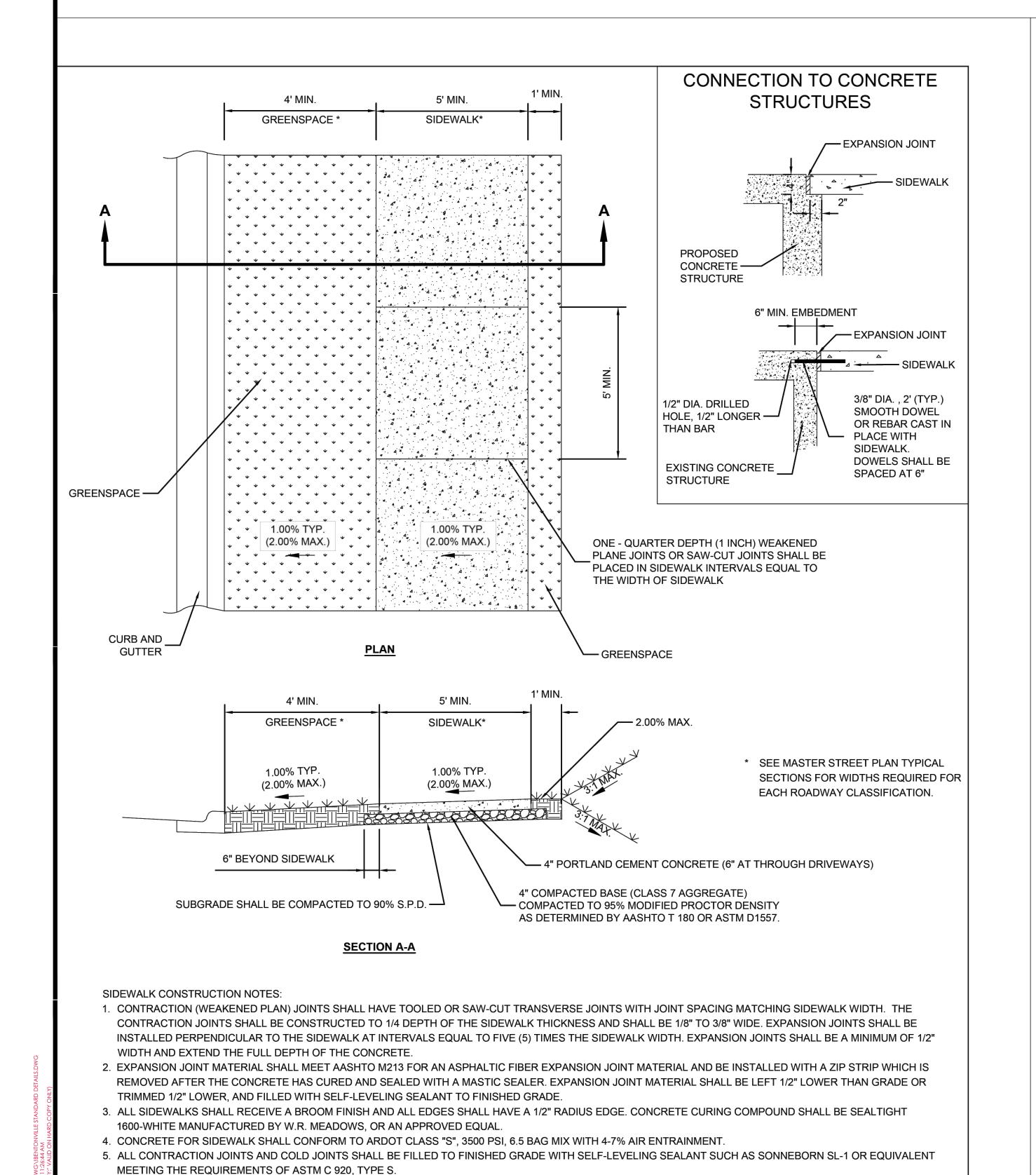
NTS STA. 35+64.50 - 37+13.50



TYPICAL 5-LANE ASPHALT STREET SECTION

NTS STA. 13+00.00 - STA. 32+85.78





6. CLOSED CELL BACKER ROD SHALL BE USED IN DEEP JOINTS, AS NEEDED, ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.

TRANSPORTATION DIVISION

3200 SW MUNICIPAL DRIVE

DOWELED INTO THE STRUCTURE.

ARKANSAS

BENTONVILLE

CITY OF

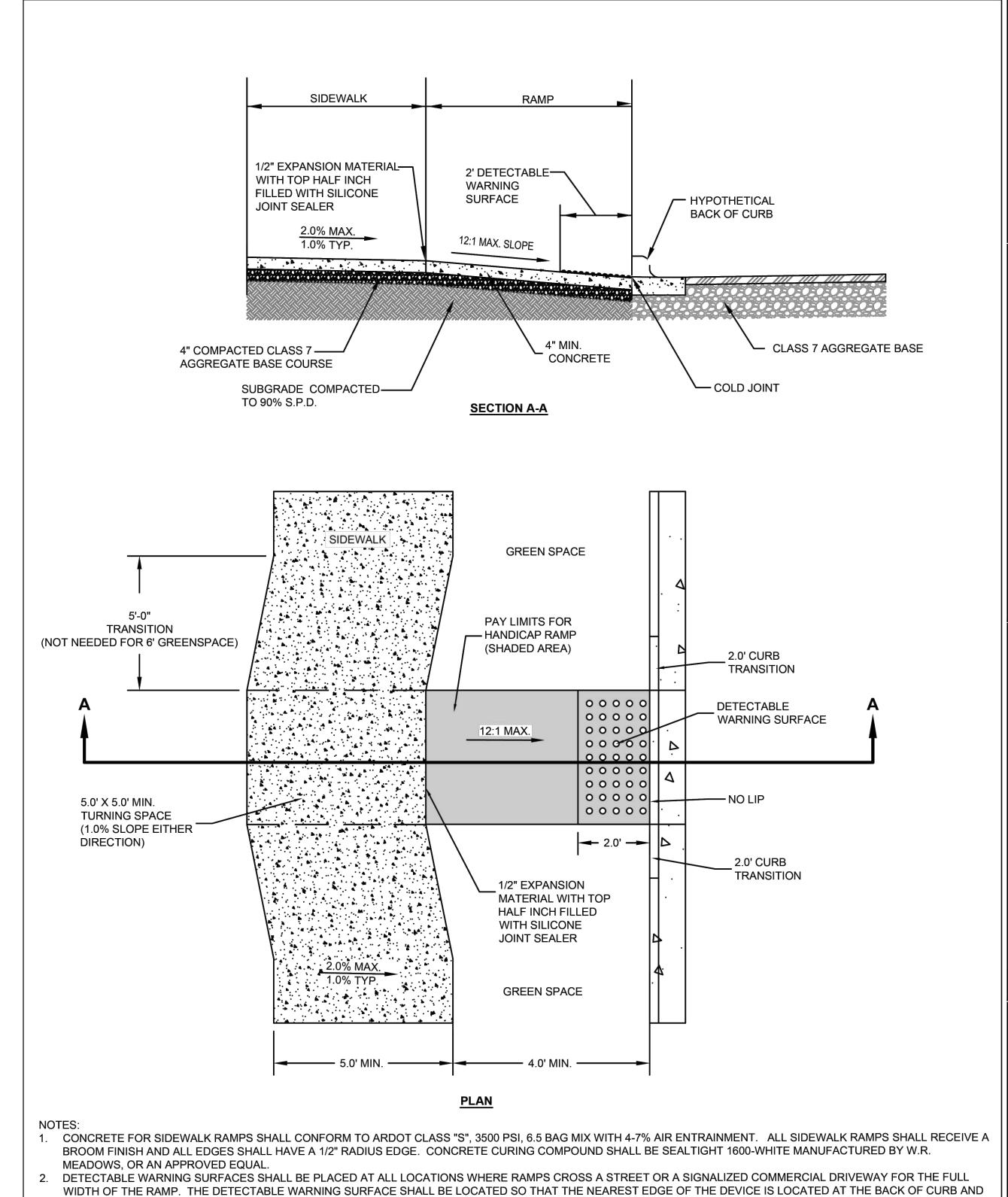
7. WHEN PLACING SIDEWALK AGAINST AN EXISTING CONCRETE STRUCTURE WHERE IT IS DESIRABLE THAT THE SIDEWALK REMAIN FLUSH, THE SIDEWALK SHALL BE

DESCRIPTION:

TITLE:

SIDEWALK WITH GREENSPACE

SIDEWALK DETAILS



901 N. 47th St., Suite 400 Rogers, Arkansas 72756 479.636.4838 † 479.631.6224 f CERTIFICATE OF AUTHORIZATION: CRAFTON, TULL & ASSOCIATES, INC. MOBERLY LANE - WALTON BLVD TO S.E. 28TH BENTONVILLE, ARKANSAS BOND PROJECT MUNIS #21ST0003

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ISSUE DATE: 01/03/2023 PRELIMINARY

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BENTONVILLE STANDARD DETAILS

FEBRUARY, 2021

SW-1

SHEET:

CITY OF BENTONVILLE **ARKANSAS**

3. ALL SIDEWALK RAMPS REQUIRE A CITY INSPECTION PRIOR TO CONCRETE PLACEMENT.

TRANSPORTATION DIVISION 3200 SW MUNICIPAL DRIVE

BACK OF CURB EXCEEDS 5-FT., THE DETECTABLE WARNING SURFACE SHALL BE PLACED AT THE BACK OF CURB.

PERPENDICULAR TO THE EDGE OF THE SIDEWALK RAMP. AT CURB RADII WHERE THE DISTANCE FROM THE PERPENDICULAR DETECTABLE WARNING SURFACE TO THE

SIDEWALK RAMP DETAIL

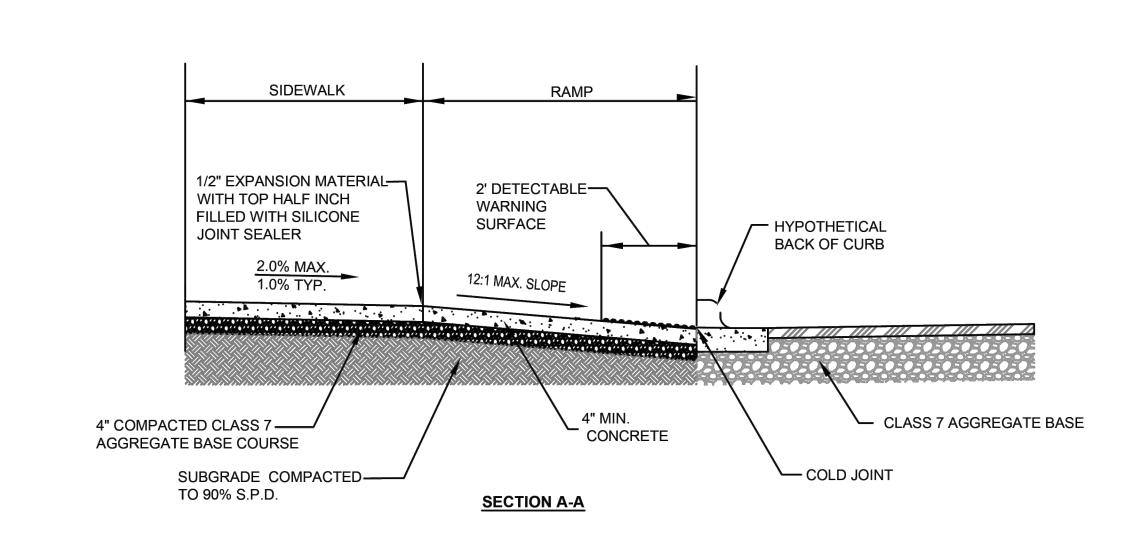
SIDEWALK RAMP WITH 2' CURB TRANSITION

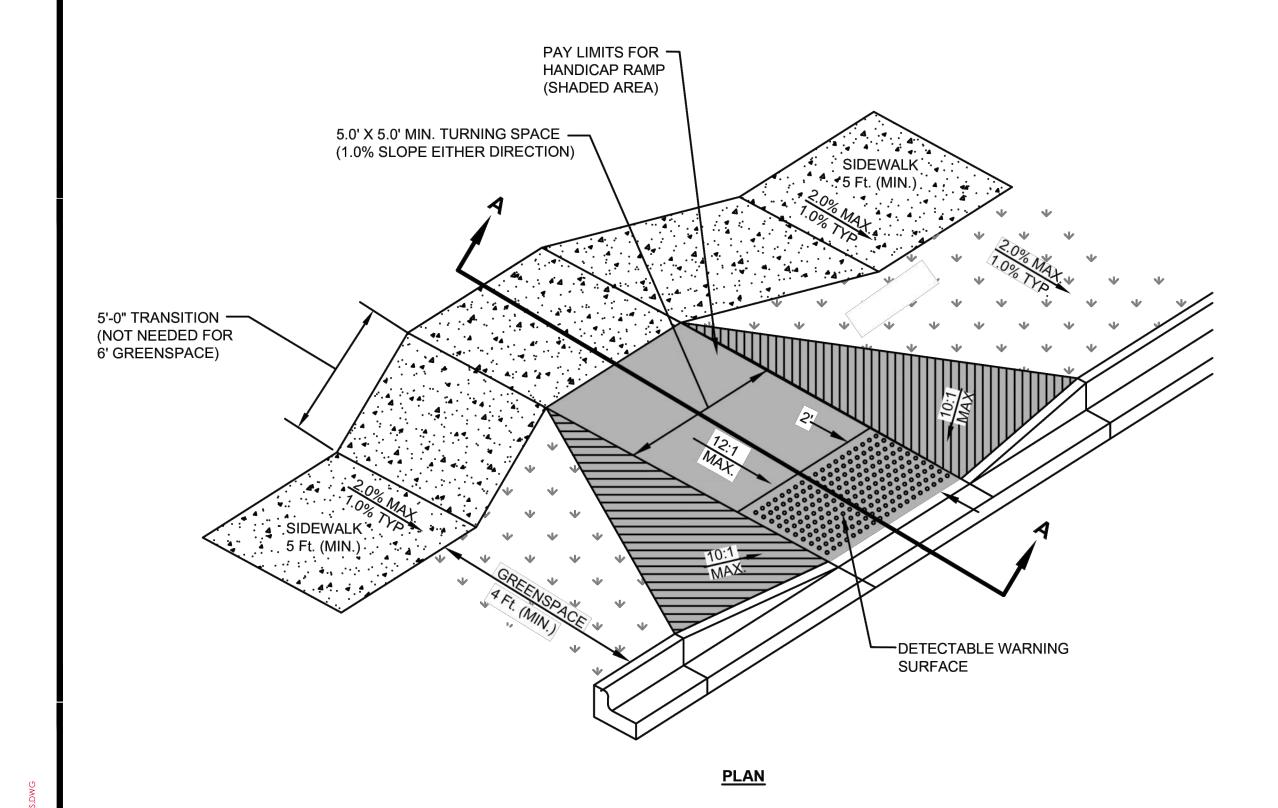
C-502

FEBRUARY, 2021

SR-1

SHEET:





- 1. CONCRETE FOR SIDEWALK RAMPS SHALL CONFORM TO ARDOT CLASS "S", 3500 PSI, 6.5 BAG MIX WITH 4-7% AIR ENTRAINMENT. ALL SIDEWALK RAMPS SHALL RECEIVE A BROOM FINISH AND ALL EDGES SHALL HAVE A 1/2" RADIUS EDGE. CONCRETE CURING COMPOUND SHALL BE SEALTIGHT 1600-WHITE MANUFACTURED BY W.R. MEADOWS, OR AN APPROVED EQUAL.
- DETECTABLE WARNING SURFACES SHALL BE PLACED AT ALL LOCATIONS WHERE RAMPS CROSS A STREET OR A SIGNALIZED COMMERCIAL DRIVEWAY FOR THE FULL WIDTH OF THE RAMP. THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE NEAREST EDGE OF THE DEVICE IS LOCATED AT THE BACK OF CURB AND PERPENDICULAR TO THE EDGE OF THE SIDEWALK RAMP. AT CURB RADII WHERE THE DISTANCE FROM THE PERPENDICULAR DETECTABLE WARNING SURFACE TO THE BACK OF CURB EXCEEDS 5-FT., THE DETECTABLE WARNING SURFACE SHALL BE PLACED AT THE BACK OF CURB.

DESCRIPTION:

3. ALL SIDEWALK RAMPS REQUIRE A CITY INSPECTION PRIOR TO CONCRETE PLACEMENT.



CITY OF BENTONVILLE ARKANSAS

TRANSPORTATION DIVISION 3200 SW MUNICIPAL DRIVE

SIDEWALK RAMP WITH FLARED WINGS

SIDEWALK RAMP DETAIL

CITY OF BENTONVILLE ARKANSAS

MARCH, 2021

SR-2

SHEET:

GRADE BREAK AND WARNING DEVICE -

MEADOWS, OR AN APPROVED EQUAL.

ALIGNED WITH BACK OF CURB

TRANSPORTATION DIVISION 3200 SW MUNICIPAL DRIVE

BACK OF CURB EXCEEDS 5-FT., THE DETECTABLE WARNING SURFACE SHALL BE PLACED AT THE BACK OF CURB.

3. ALL SIDEWALK RAMPS REQUIRE A CITY INSPECTION PRIOR TO CONCRETE PLACEMENT.

1. CONCRETE FOR SIDEWALK RAMPS SHALL CONFORM TO ARDOT CLASS "S", 3500 PSI, 6.5 BAG MIX WITH 4-7% AIR ENTRAINMENT. ALL SIDEWALK RAMPS SHALL RECEIVE A

DETECTABLE WARNING SURFACES SHALL BE PLACED AT ALL LOCATIONS WHERE RAMPS CROSS A STREET OR A SIGNALIZED COMMERCIAL DRIVEWAY FOR THE FULL

WIDTH OF THE RAMP. THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE NEAREST EDGE OF THE DEVICE IS LOCATED AT THE BACK OF CURB AND

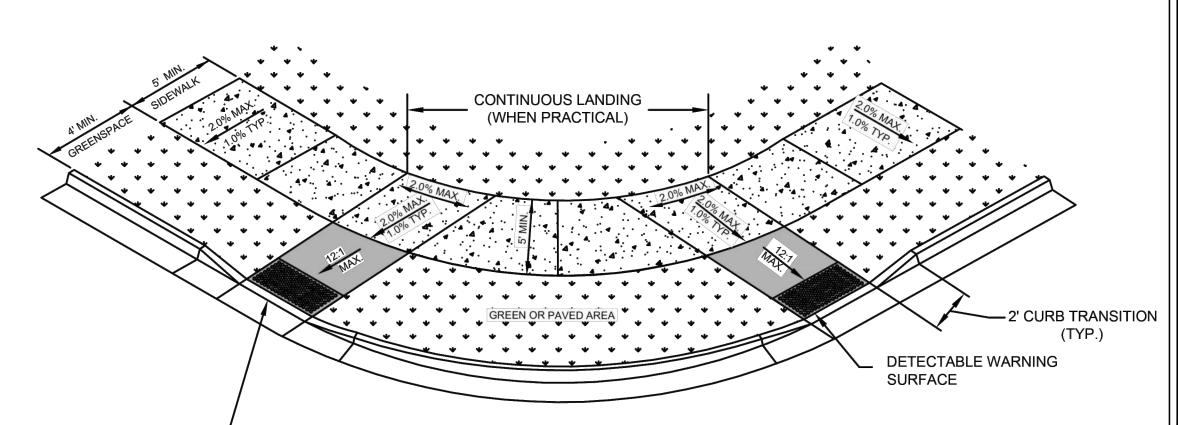
PERPENDICULAR TO THE EDGE OF THE SIDEWALK RAMP. AT CURB RADII WHERE THE DISTANCE FROM THE PERPENDICULAR DETECTABLE WARNING SURFACE TO THE

BROOM FINISH AND ALL EDGES SHALL HAVE A 1/2" RADIUS EDGE. CONCRETE CURING COMPOUND SHALL BE SEALTIGHT 1600-WHITE MANUFACTURED BY W.R.

DESCRIPTION: MARCH, 2021 SIDEWALK RAMP LOCATIONS AT RADIUS SHEET: SR-4 SIDEWALK RAMP DETAIL

901 N. 47th St., Suite 400 Rogers, Arkansas 72756 479.636.4838 † 479.631.6224 f

CERTIFICATE OF AUTHORIZATION: ASSOCIATES, INC.



MOBERLY LANE - WALTON BLVD TO S.E. 28TH BENTONVILLE, ARKANSAS

BOND PROJECT MUNIS #21ST0003

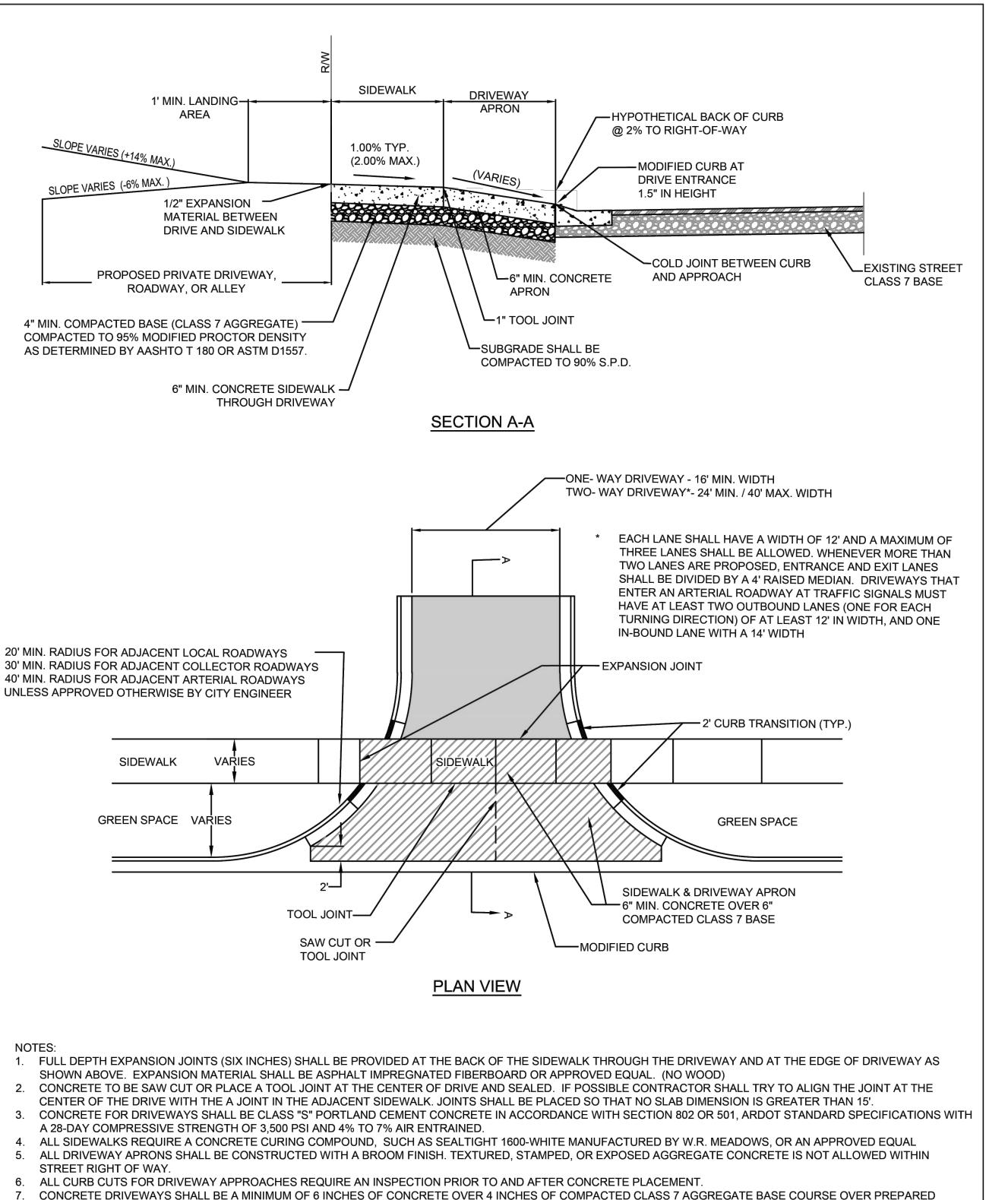
٧٥.	Description	Date

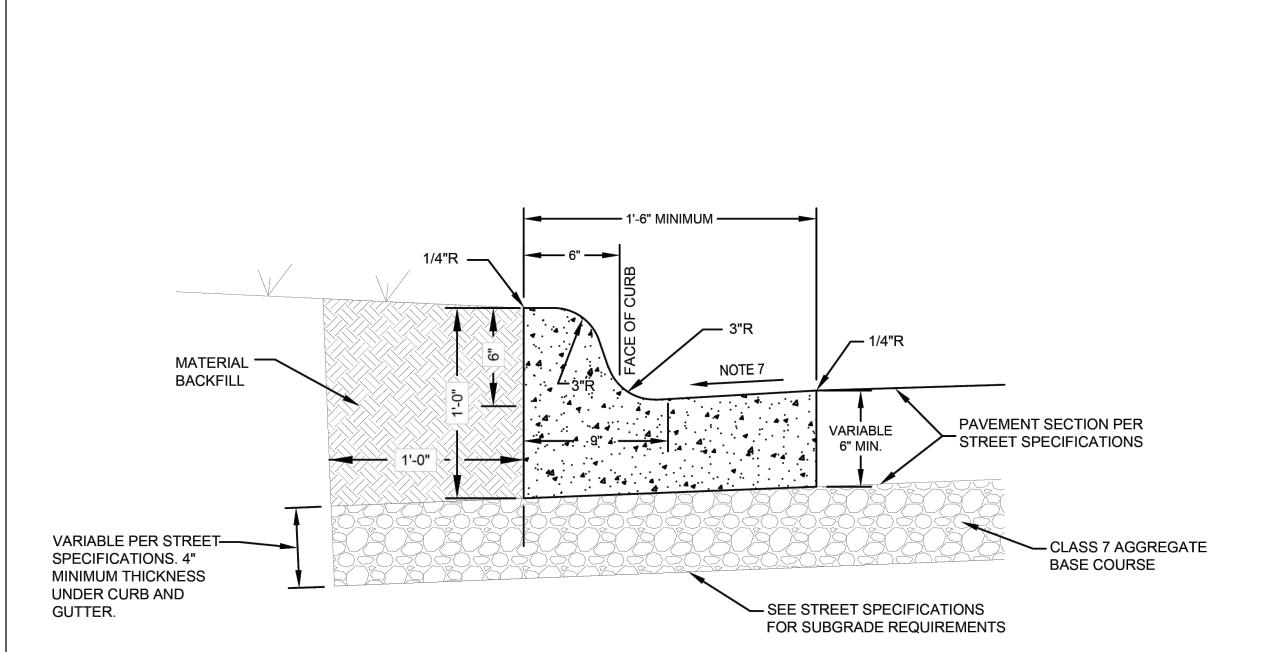
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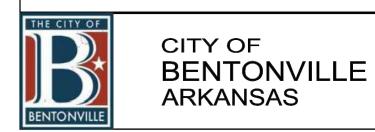
BENTONVILLE STANDARD DETAILS

C-503





- ASTM DESIGNATION C309, TYPE 2. CONTRACTION JOINTS SHALL BE 1/8" TO 3/8" X 1 1/2" AT 15 FT. INTERVALS. ALL CONTRACTION JOINTS AND COLD JOINTS SHALL
- BE FILLED WITH JOINT SEALANT TO FINISHED GRADE. JOINT SEALING COMPOUND FOR CONTRACTION JOINTS SHALL BE SONNEBORN "SONOLASTIC SLI" OR APPROVED EQUAL. CLOSED CELL BACKER ROD SHALL BE USED IN DEEP JOINTS, AS NEEDED, ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- GUTTER SHALL MATCH THE CROSS SLOPE OF THE ROAD WITHIN ± 0.5%. GUTTER DRAINING THE OPPOSITE DIRECTION AS THE ROAD WILL NOT BE ACCEPTED.
- CONTRACTOR SHALL GIVE THE CITY AT LEAST TWENTY-FOUR (24) HOURS ADVANCE NOTICE BEFORE PLACING CONCRETE AND THE SUBGRADE SHALL BE CHECKED AND APPROVED BY THE CITY REPRESENTATIVE BEFORE ANY CONCRETE IS PLACED.
- AFTER CURBS HAVE SET SUFFICIENTLY, THEY SHALL BE BACKFILLED WITH APPROVED MATERIAL AND GRADED SO THAT NO PONDING WILL OCCUR. AREAS ON WHICH SIDEWALK OR DRIVEWAYS ARE TO BE CONSTRUCTED SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS MEASURED BY AASHTO T99 OR ASTM D698 (STANDARD PROCTOR).
- 10. FOR CONCRETE STREETS, IF THE CURB AND GUTTER IS CAST SEPARATELY, 1/2 " DIAMETER DOWEL RODS 30" LONG SHALL BE PROVIDED A MINIMUM OF EVERY 30" ON-CENTER.



TRANSPORTATION DIVISION 3200 SW MUNICIPAL DRIVE

PHONE: (479) 271-6840

DESCRIPTION: FEBRUARY, 2021 TYPE "A" CURB & GUTTER SHEET: CG-1 CURB & GUTTER DETAILS

BENTONVILLE STANDARD DETAILS

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479.636.4838 † 479.631.6224 f

BLVD TO S.E. 28TH

BENTONVILLE, ARKANSAS

BOND PROJECT MUNIS #21ST0003

CRAFTON, TULL & ASSOCIATES, INC. No. 109

CERTIFICATE OF AUTHORIZATION

C-504

SSUE DATE: 01/03/2023

PRELIMINARY

PLANS

2023 Crafton, Tull & Associates, Inc

MOBERLY LANE - WALTON **CURB & GUTTER NOTES:** CONCRETE SHALL BE CLASS "S" PORTLAND CEMENT CONCRETE IN ACCORDANCE WITH SECTION 802 OR 501, ARDOT STANDARD SPECIFICATIONS WITH A 28-DAY COMPRESSIVE STRENGTH OF 3,500 p.s.i. ADMIXTURES SHALL NOT BE USED UNLESS SPECIFICALLY APPROVED BY THE CITY ENGINEER. MAXIMUM SLUMP SHALL NOT EXCEED 4". CONCRETE MAY NOT BE POURED IF A FALLING AIR TEMPERATURE FALLS BELOW 40°F NOR RESUMED UNTIL AN ASCENDING AIR TEMPERATURE RISES ABOVE 35°F WITHOUT SPECIFIC AUTHORITY FROM THE CITY REPRESENTATIVE. 🗦" WIDE EXPANSION JOINTS SHALL BE REQUIRED AT 75 FT. INTERVALS AND AT ALL STATIONARY STRUCTURES AND ENDS OF CURB RETURNS. EXPANSION JOINTS SHALL BE MADE WITH 1/2 " ASPHALT IMPREGNATED FIBERBOARD CONFORMING TO AASHTO M-213 . ACCEPTABLE MATERIAL MAY BE FOUND ON THE CURRENT ARDOT "QUALIFIED PRODUCTS LIST". EXPANSION JOINT MATERIAL SHALL BE LEFT 1/2" LOWER THAN GRADE OR TRIMMED 1/2" LOWER THAN GRADE. EXPANSION JOINT MATERIAL SHALL BE FULL DEPTH OF THE CURB AND PERPENDICULAR TO THE CURB LINE. FINISH SHALL BE MEDIUM BROOM FINISH. CURING COMPOUND SHALL BE A WHITE PIGMENTED MEMBRANE-FORMING LIQUID CONFORMING TO THE REQUIREMENTS OF

SUBGRADE. COMMERCIAL ASPHALT DRIVEWAYS BEYOND THE CONCRETE APRON SHALL BE A MINIMUM OF 3 INCHES OF ASPHALT SURFACE COURSE OVER 6 INCHES OF COMPACTED CLASS 7 AGGREGATE BASE COURSE OVER PREPARED SUBGRADE. 8. DRIVEWAY APRON AND MODIFIED CURB SHALL BE PLACED MONOLITHICALLY.

CITY OF **BENTONVILLE ARKANSAS**

TRANSPORTATION DIVISION 3200 SW MUNICIPAL DRIVE

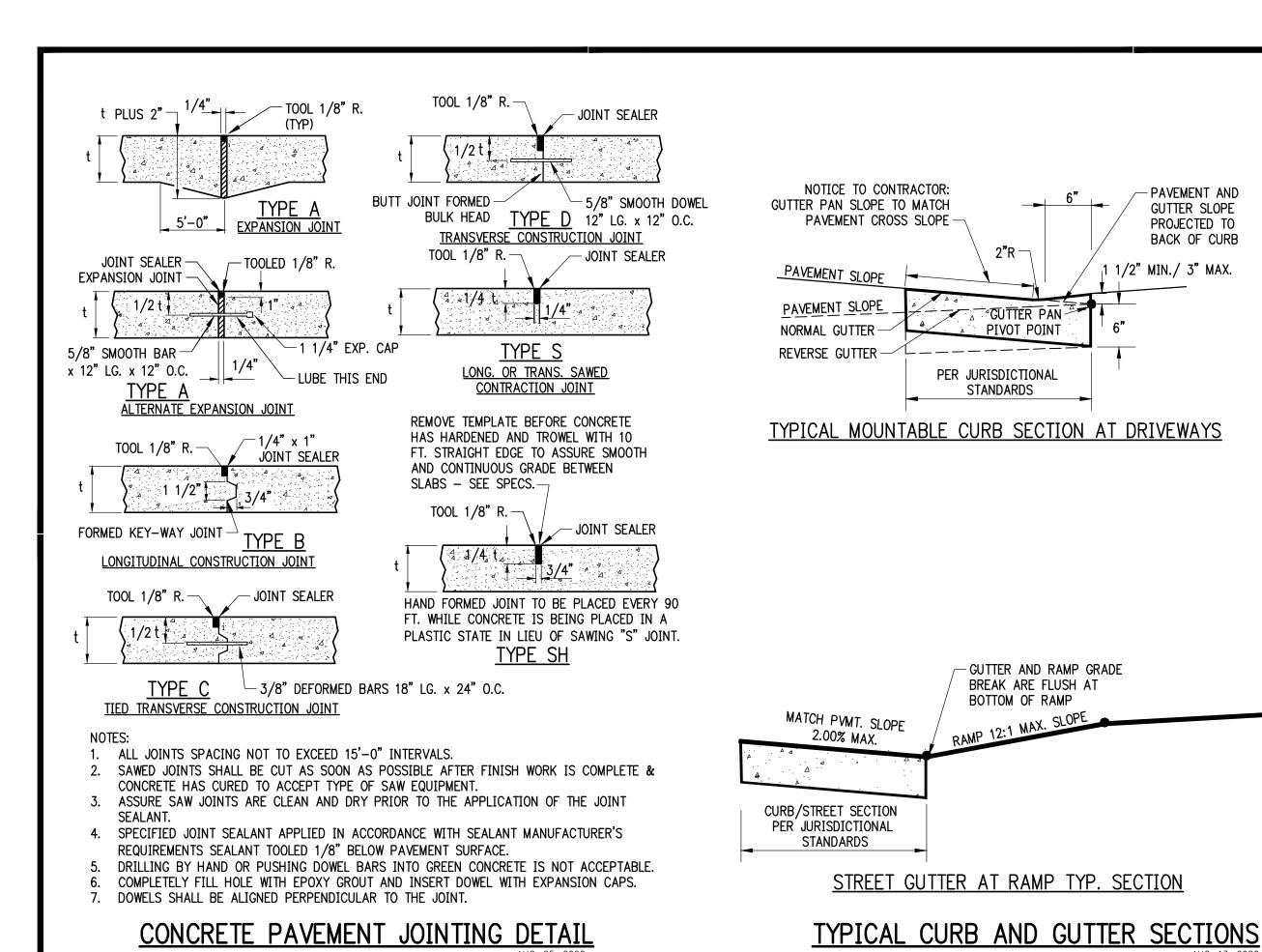
PHONE: (479) 271-6840

STANDARD COMMERCIAL DRIVEWAY WITH GREEN SPACE

TITLE: COMMERCIAL DRIVEWAY DETAIL

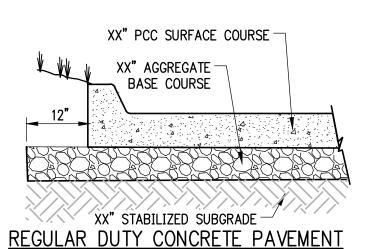
DW-2

MARCH, 2021



XX" ACHM SURFACE COURSE -XX" AGGREGATE -BASE COURSE COMPACTED SUBGRADE -

REGULAR DUTY ASPHALT PAVEMENT



NOTES:

CONSTRUCTION.

ASPHALT.

AND BRIDGE CONSTRUCTION.

HEAVY DUTY ASPHALT PAVEMENT

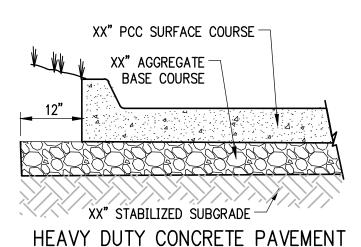
XX" ACHM SURFACE COURSE

XX" BINDER

XX" AGGREGATE -

COMPACTED SUBGRADE —

BASE COURSE



WARNING DEVICE ALIGNMENT

- 1. DETECTABLE WARNING SURFACES SHALL CONSIST OF TRUNCATED DOMES ALIGNED IN A SQUARE OR RADIAL GRID PATTERN AND SHALL COMPLY WITH ADA 705 GUIDELINES.
- 2. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT GUTTER, STREET OR HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.

DETECTABLE WARNING DEVICE

MOBERLY LANE - WALTON BLVD TO S.E. 28TH BENTONVILLE, ARKANSAS

BOND PROJECT MUNIS #21ST0003

901 N. 47th St., Suite 400 Rogers, Arkansas 72756

architecture | engineering | surveying

CERTIFICATE OF AUTHORIZATION:

479.636.4838 † 479.631.6224 f

CRAFTON, TULL &

ASSOCIATES, INC.

No. 109

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PROJECT NO: 21105500 ISSUE DATE: 01/03/2023 **PRELIMINARY**

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SITE DETAILS

C-505

PAVEMENT SECTIONS

STRIPE (TYP.) 4" WIDE PAINTED	C	
	<i>d</i>	
	STRIPE (TYP.) 4" WIDE PAINTED, TYPICALLY WHITE.	
* NOTE: DIMENSIONS SHOWN ON PLAN SHALL GOVERN.	۵	
	STRIPE (TYP.) 4" WIDE PAINTED, TYPICALLY WHITE.	
ш	B B	
IPES		
_		

AISLE WIDTH AISLE WIDTH (IN FT.) 8 7.5 17 14 19 16 20 16.5 19 15

LETTERS, NUMBERS AND ARROWS FOR DRIVEWAYS, PARKING LOTS AND STREETS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL

DEVICES FOR STREETS AND HIGHWAYS. 2. PAVEMENT MARKINGS ARE TO BE PAINTED REFLECTIVE WHITE. MARKINGS SHALL BE THERMOPLASTIC IF CALLED FOR IN THE PLANS OR SPECIFICATIONS.

STRIPING DIMENSIONS

(IN FT.)

12

12

12

12

12

12

18

15

24

22

(IN FT.) (D)

24

24

24

24

24

24

24

24

(IN FT.)

(C)

22.5

19.5

18

15

12.5

10.5

10.5

8.5

7.5

(IN FT.) (B)

7.5

7.5

7.5

7.5

7.5

0° | STANDARD | 8

30° | STANDARD | 9

COMPACT

45° STANDARD 9

COMPACT

COMPACT

COMPACT

60° | STANDARD | 9

90° STANDARD

PARALLEL | COMPACT |

PARKING STRI STRIPE (TYP.) 4" WIDE PAINTED

- PAVEMENT AND

GUTTER SLOPE

PROJECTED TO

BACK OF CURB

1 1/2" MIN./ 3" MAX.

1. THE SUBGRADE UNDER PAVEMENTS SHALL BE PREPARED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS.

4. ASPHALTIC SURFACE AND BINDER COURSES SHALL CONFORM WITH THE GRADATION, COMPACTION AND OTHER

5. PORTLAND CEMENT CONCRETE PAVEMENT SHALL CONFORM WITH THE REQUIREMENTS SHOWN IN THE CONTRACT

SPECIFICATIONS OR WITH THE LOCAL STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

2. AFTER PROOF ROLLING WITH A LOADED TANDEM AXLE DUMP TRUCK AND PREPARING DEEP SUBGRADE DEFICIENCIES, THE

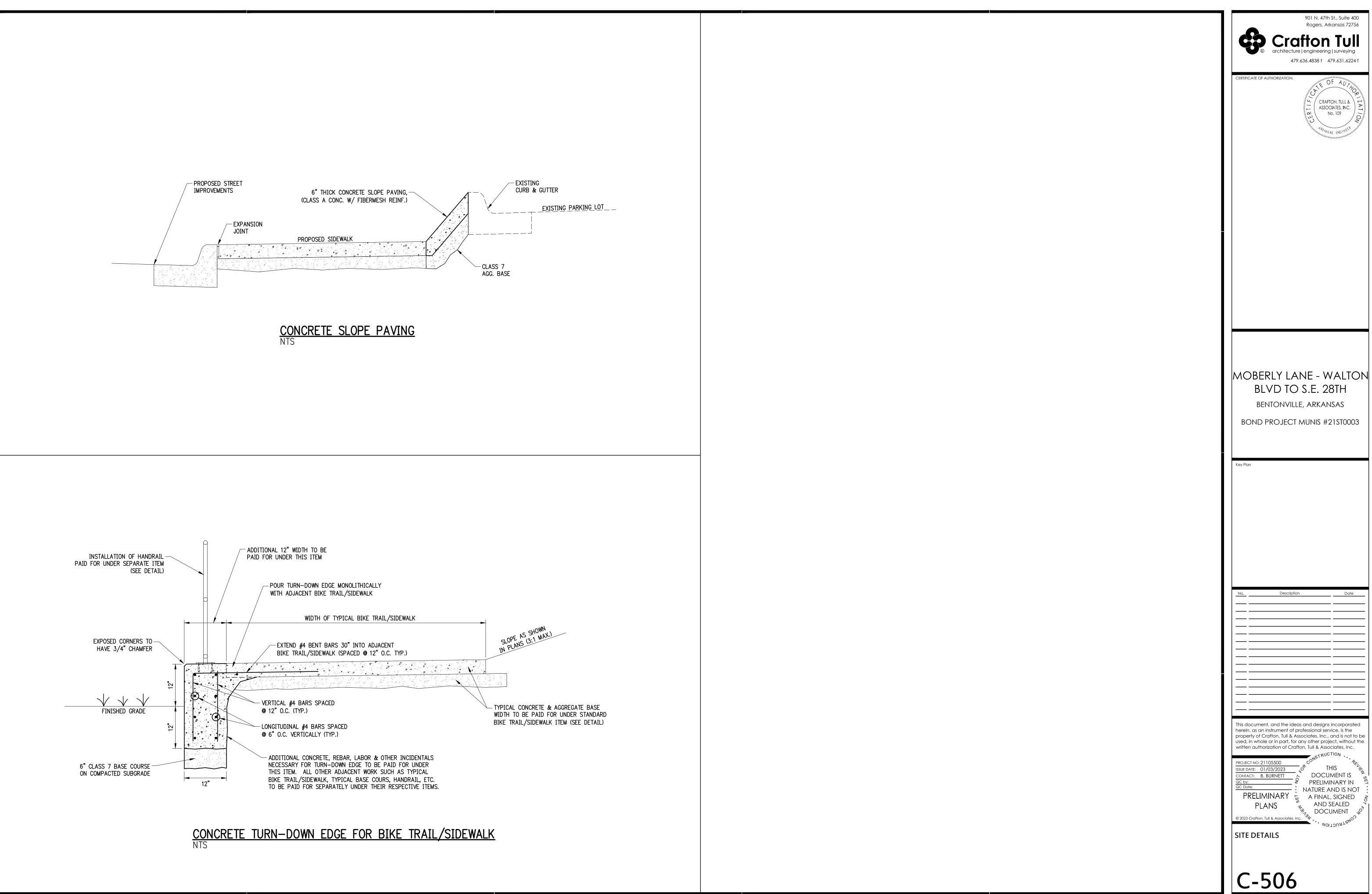
3. AGGREGATE BASE COURSE MIXTURES SHALL CONFORM WITH THE GRADATION, COMPACTION AND OTHER REQUIREMENTS

SHOWN IN THE CONTRACT SPECIFICATIONS OR WITH THE LOCAL STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE

REQUIREMENTS SHOWN IN THE CONTRACT SPECIFICATIONS OR WITH THE LOCAL STANDARD SPECIFICATIONS FOR ROAD

6. THE CONTRACTOR SHALL APPLY A TACK COAT TO THE FACE OF THE CONCRETE GUTTER WHERE THE GUTTER CONTACTS

ENTIRE SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 8" AND UNIFORMLY COMPACTED TO AT LEAST 95% OF MODIFIED



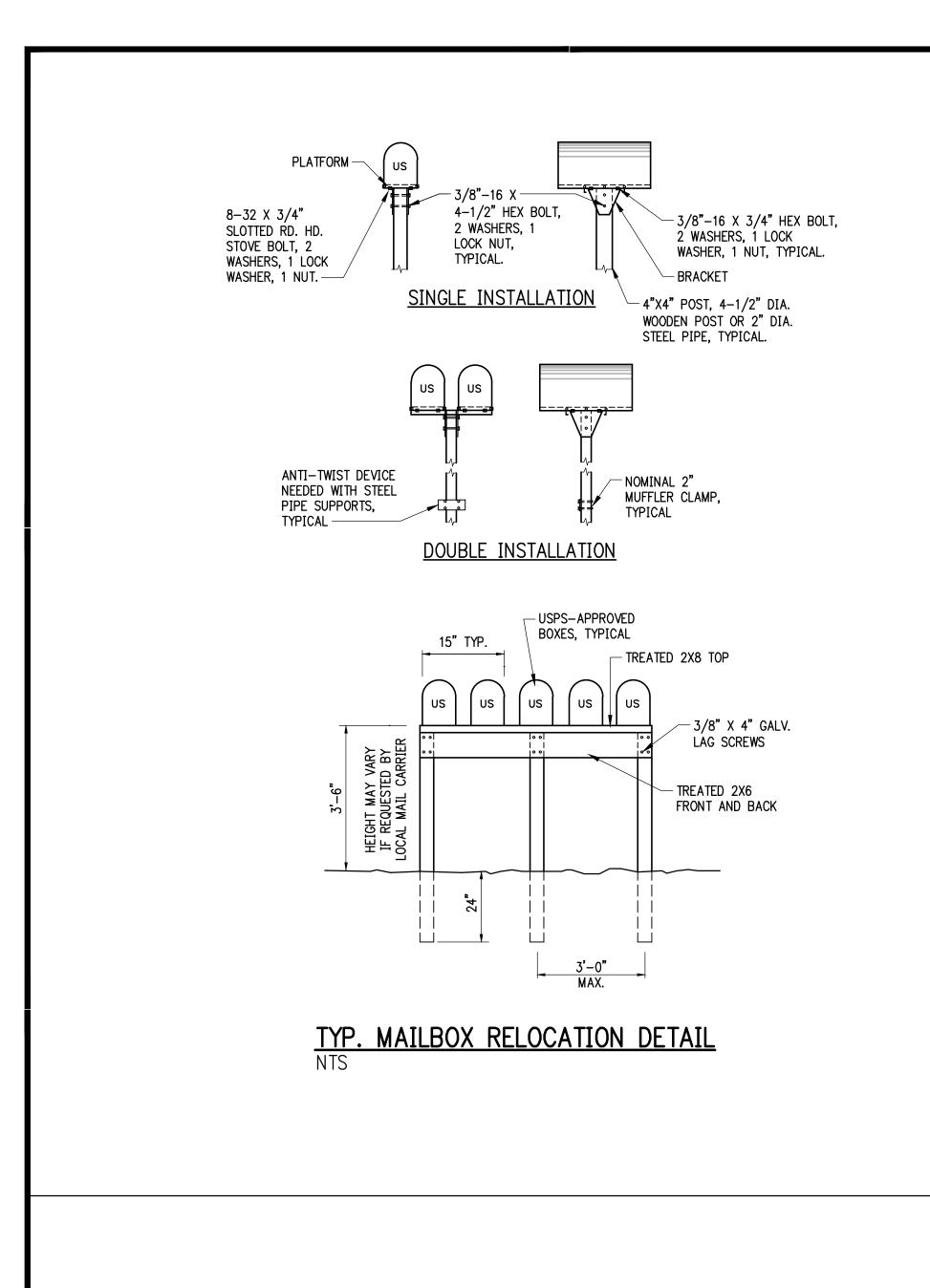
901 N. 47th St., Suite 400 Rogers, Arkansas 72756 479.636.4838 † 479.631.6224 f



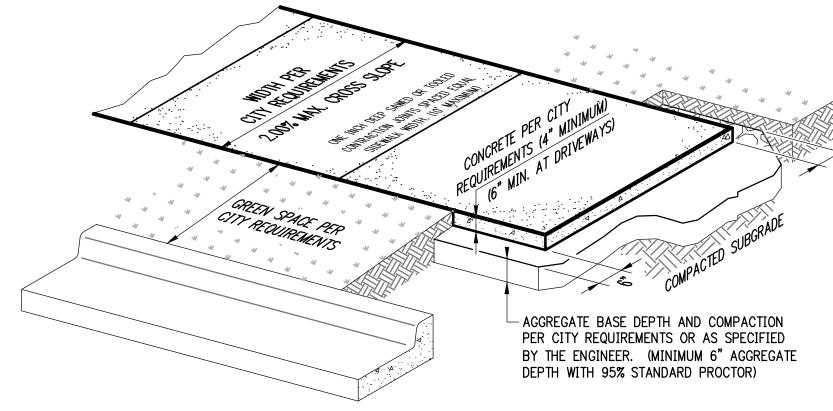
BLVD TO S.E. 28TH BENTONVILLE, ARKANSAS

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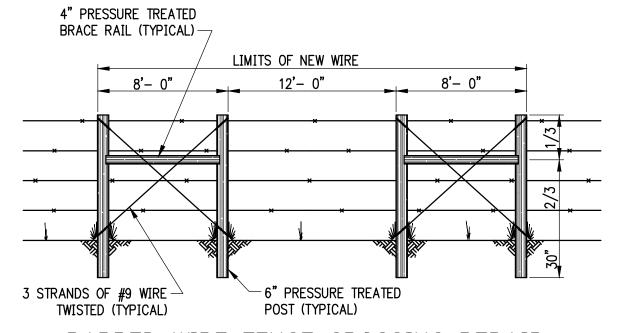
1. PROVIDE 1/2" EXPANSION JOINT BETWEEN SIDEWALK AND ALL STATIONARY OBJECTS. 2. CONCRETE MIXTURE TO BE PER CITY REQUIREMENTS OR AS SPECIFIED BY THE ENGINEER. 3. PROVIDE 1/2" TOOLED RADIUS ON ALL EXPOSED EDGES. 4. CONCRETE TO BE MINIMUM 4000 PSI, 4-7% AE, OR AS REQUIRED BY CITY. 5. CONTRACTION/EXPANSION JOINTS PER CITY REQUIREMENTS OR AS SPECIFIED BY THE ENGINEER. MINIMUM: 5'/25' FOR 5' WIDE SIDEWALK, 6'/24' FOR 6' WIDE SIDEWALK. EXPANSION JOINTS SHALL BE 1/2" X FULL DEPTH.



PUBLIC CONCRETE SIDEWALK WITHIN RIGHT-OF-WAY

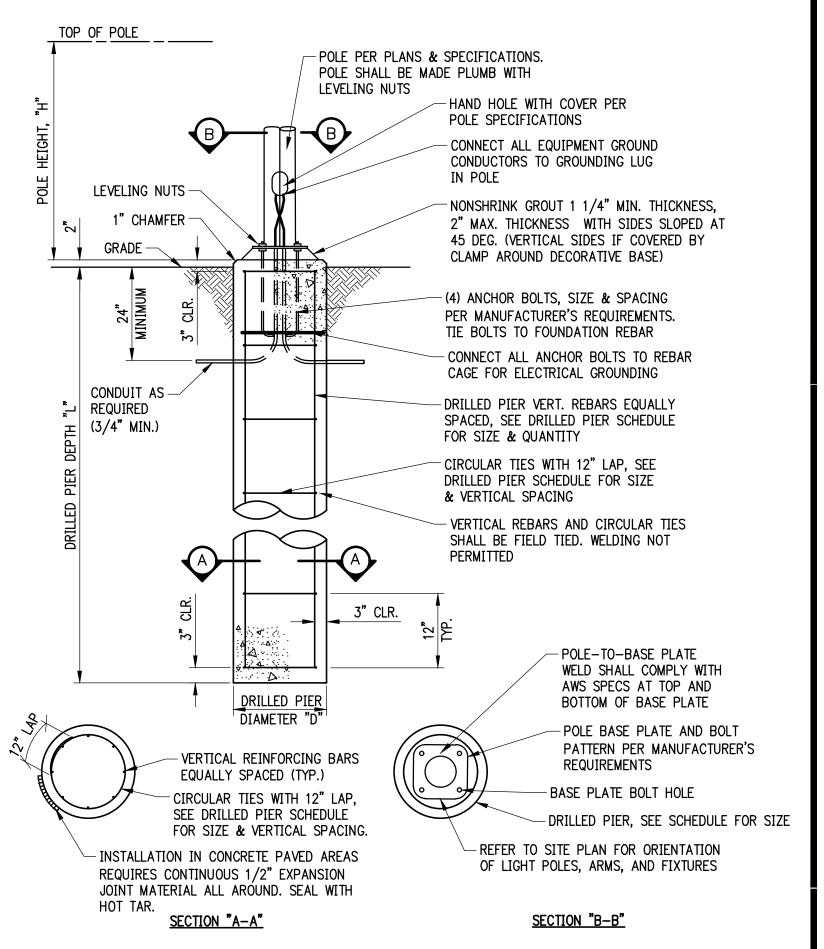
-5/16" ø STANDARD THE MINIMUM HEIGHT OF THE BOTTOM GALVANIZED OR ZINC OF THE LOWEST SIGN SHALL BE 7'-0". PLATED SQUARE OR HEX. HEAD MACHINE BOLT WITH NUT. BREAK AWAY CHANNEL POST - SIGNAGE OTHER THAN ACCESSIBLE - SEE BREAK AWAY CHANNEL (PED XING, STOP, ETC.) POST WHEN PIPE BOLLARD IS NOT REQUIRED. "U"-CHANNEL POST (2 LBS./FT.) GROUND/PAVING USE 6" PIPE BOLLARD FILLED W/ CONCRETE AND PAINTED TRAFFIC YELLOW ONLY WHEN SIGN IS IN PAVED AREA OR SIDEWALK - SEE BREAK AWAY CHANNEL POST WHEN PIPE BOLLARD IS NOT REQUIRED. 3500 P.S.I. -P.C. CONCRETE - SLOPE TOP OF CONCRETE GROUND/PAVING SURFACE · 🛕 🔏 . SIGN BASE IN PAVEMENT SIGN BASE IN LAWN – 3500 P.S.I. OR LANDSCAPED AREAS P.C. CONCRETE SIGN POST INSTALLATION

1. H-BRACE UNITS SHALL BE INSTALLED PRIOR TO CUTTING EXISTING FENCE 2. HEIGHT OF POST TO MATCH EXISTING POSTS. 3. NEW WIRE SHALL BE THE SAME TYPE AS EXISTING FENCE.



BARBED WIRE FENCE CROSSING REPAIR

DRILLED PIER SCHEDULE										
POLE HEIGHT "H"	DRILLED PIER DIAMETER "D"	DRILLED PIER DEPTH "L"	DRILLED PIER VERT. REBAR	CIRCULAR TIES						
UP TO 9'-0"	18"	2'-8"	(6)-#5	#3 @ 12" OC VERT						
12'-0"	18"	3'-0" (6)-#5		#3 @ 12" OC VERT						
20'-0"	24"	8'-0"	(8)-#5	#3 @ 12" OC VERT						
30'-0"	24"	8'-3"	(8)-#5	#3 @ 12" OC VERT						
40'-0"	30"	9'-0"	(8)-#7	#3 @ 12" OC VERT						



REVISED 05/10/11

1. 3500 PSI MIN. 28 DAY COMPRESSIVE STRENGTH CONC. WITH GRADE 60 RE-BARS. 2. FOUNDATION EXCAVATION SHALL BE BY AUGER IN UNDISTURBED OR PROPERLY COMPACTED FILL PER SPECIFICATIONS. SIZE OF AUGER SHALL MATCH DIAMETER OF PIER.

3. IF GROUNDWATER IS PRESENT IN AUGER HOLE, REMOVE BEFORE POURING CONCRETE. 4. DESIGN CRITERIA:

-IN PLACE SOIL IS ASSUMED TO BE CLASS 5 OF IBC 2006, TABLE 1804.2 WITH INCREASED ALLOWABLE LATERAL BEARING OF 200 PSF/FT PER SECTION 1804.3.1. -BASIC WIND SPEED (3 SECOND GUST) = 90 MPH

-EXPOSURE CATEGORY C -IMPORTANCE FACTOR = 1.0

ROUND LIGHT FOUNDATION — AT GRADE

901 N. 47th St., Suite 400 Rogers, Arkansas 72756 Crafton Tul 479.636.4838 † 479.631.6224 f

CERTIFICATE OF AUTHORIZATION:

CRAFTON, TULL & ASSOCIATES, INC. No. 109

MOBERLY LANE - WALTON BLVD TO S.E. 28TH BENTONVILLE, ARKANSAS

BOND PROJECT MUNIS #21ST0003

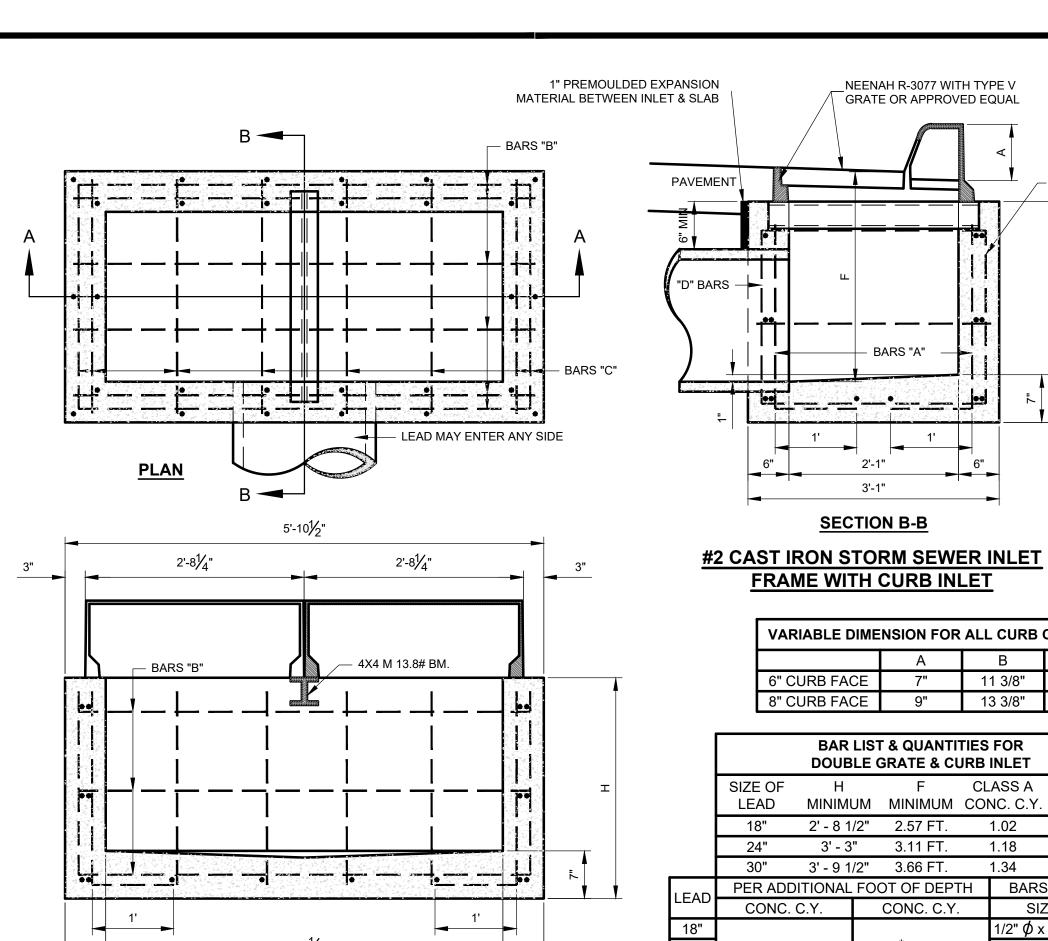
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THIS

SITE DETAILS



IES OF ANGLE IRON FOR	CURB INL

QUANTITIES	OF ANGLE IF	RON FOR CURB INLETS				
INLET#	# PIECES	LENGTH OF 3" x 3"				
2 - 0						
2 - 1	1	5' - 1 5/8"				
2 - 2	1	10' - 6 1/8"				
2 - 3	1	15' - 10 5/8"				
2 - 4	2	10' - 6 1/8"				

5'-10¹/₂"

SECTION A-A

VARIABLE DIMENSION FOR ALL CURB CASTINGS										
	Α	В	С							
6" CURB FACE	7"	11 3/8"	8 1/4"							
8" CURB FACE	9"	13 3/8"	10 1/4"							
	•									

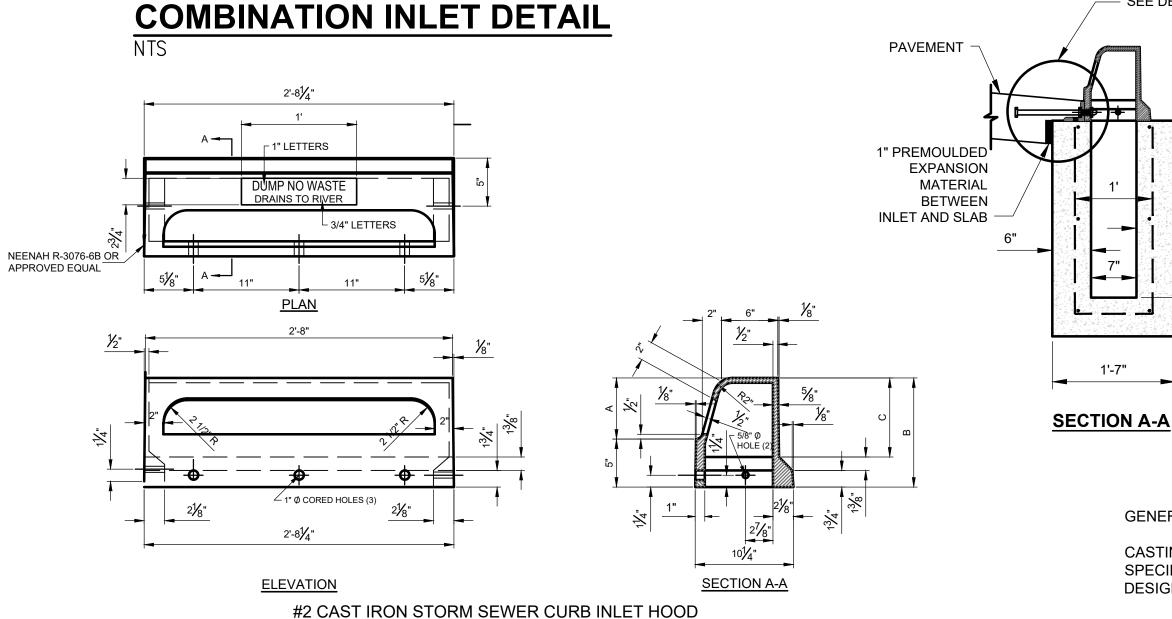
NF. LBS. 37 47
17 30
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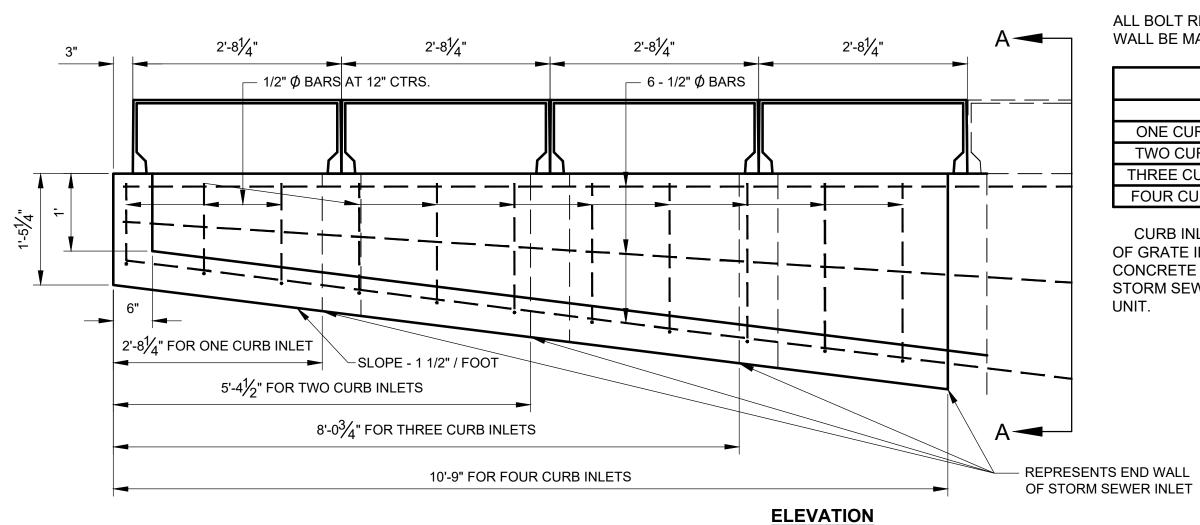
* HORIZONTAL BARS ARE APPROXIMATELY 12" CENTERS. WHEN ADDITIONAL BARS ARE REQUIRED DUE TO INCREASE OF DEPTH OF INLET 22.5 LBS OF REINFORCING STEEL IS TO BE ADDED FOR EACH SET OF BARS.

ALL COST OF 4 X 4 M 13.8 #BM SUPPORTS FOR GRATE FRAME TO BE INCLUDED IN THE PRICE OF BID FOR INLET FRAMES AND GRATES.

INLET NOTES:

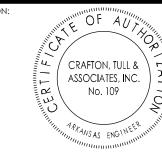
- 1. PIPES MAY ENTER BOX FROM ANY ANGLE OR ELEVATION AS APPROVED BY ENGINEER AND ACCEPTABLE BY THE GOVERNING JURISDICTION. 2. REINFORCING BARS SHALL BE CUT TO CLEAR PIPE O.D. BY 1-1/2".
- 3. PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES.
- 4. ALL REINFORCING BARS SHALL HAVE 1-1/2" MINIMUM COVER
- 5. FOR STRUCTURES OVER 5 FEET IN HEIGHT, PROVIDE NEENAH R-1980-E OR EQUAL CAST IRON MANHOLE STEPS @ 16" O.C. IF REQUIRED BY OWNER OR JURISDICTION.
- 6. FOR GENERIC GRATED INLET, USE SIMILAR TO EAST JORDAN 1020M1 GRATE WITH APPROPRIATE RING UNLESS OTHERWISE SPECIFIED BY ENGINEER OR REQUIRED BY JURISDICTION. 7. IN LIEU OF SIDEWALK NOTCH, CONTRACTOR MAY INSTALL 12" LONG #4 SMOOTH DOWEL BARS WITH EXP. CAPS @ 12" O.C. BETWEEN INLET TOP AND ADJACENT SIDEWALK.
- 8. PROVIDE 6" MINIMUM CLEARANCE BETWEEN PIPE O.D. AND INLET SIDES, TOP, EXTENSIONS, DEPRESSIONS, AND OPENINGS.
- 9. CONCRETE TO BE CLASS B, 3500#, WITH 4%-7% A.E.
- 10. TOP OF INLET AND SURFACE OF LID MUST BE FLUSH WITH SIDEWALK. MAXIMUM VERTICAL CHANGE SHALL NOT EXCEED 1/4 INCH.





#4 CAST IRON STORM SEWER INLET FRAME WITH CURB INLET





GENERAL NOTES:

CASTING SHALL CONFORM TO THE A.S.T.M. SPECIFICATIONS FOR GRAY-IRON CASTINGS, SERIAL DESIGNATION A-48-29.

DRILL HOLE IN ANGLE

3" x3" x3/8" Z SEE SCHEDULE

FOR LENGTH

3/4" x 12" BOLT

TO MATCH 1" CORED HOLE IN FRAME

DETAIL OF CONNECTING ANGLE IRON & CAST IRON CURB

NOTE: ANGLE IRON TO BE BOLTED TO CURB WITH 3 (3/4" x 12") MACHINE BOLTS

IN EACH CURB SECTION.

NO WORDING OR MARKING OF ANY KIND OTHER THAN THOSE SHOWN ON THE PLANS WILL BE PERMITTED ON THESE CASTINGS.

ALL BOLT REQUIREMENTS FOR THESE STRUCTURES WALL BE MACHINE BOLTS.

QUANTITIES FOR CURB INLETS									
	CLASS A CONC.	STEEL							
ONE CURB INLET	0.20	26							
TWO CURB INLET	0.43	44							
THREE CURB INLET	0.69	62							
FOUR CURB INLET	0.95	80							

CURB INLETS SHALL BE PLACED ON UPSTREAM SIDE OF GRATE INLETS UNLESS OTHERWISE SPECIFIED. CONCRETE TROUGH FOR CURB INLETS AND CONCRETE STORM SEWER INLETS SHALL BE CONSTRUCTED AS ONE

CONCRETE CHARACTERISTICS	CLASS A	CLASS B
MIN. COMPRESSION STRENGTH (PSI AT 28 DAYS)	3000	3500
MIN. CEMENT CONTENT (BAGS PER CUBIC YARD)	5.5	6.0
MAX. NET WATER / 94LB. BAG (GALLONS)	6.5	5.5
SLUMP RANGE (INCHES)	1-4*	1-4*
AIR CONTENT RANGE (%)	4-7	4-7
MAX. FLY ASH CONTENT (%)	20	20

* MAX. SLUMP SHALL BE 2" WHEN SLIP FORM PAVEMENT METHODS ARE USED.

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BOND PROJECT MUNIS #21ST0003

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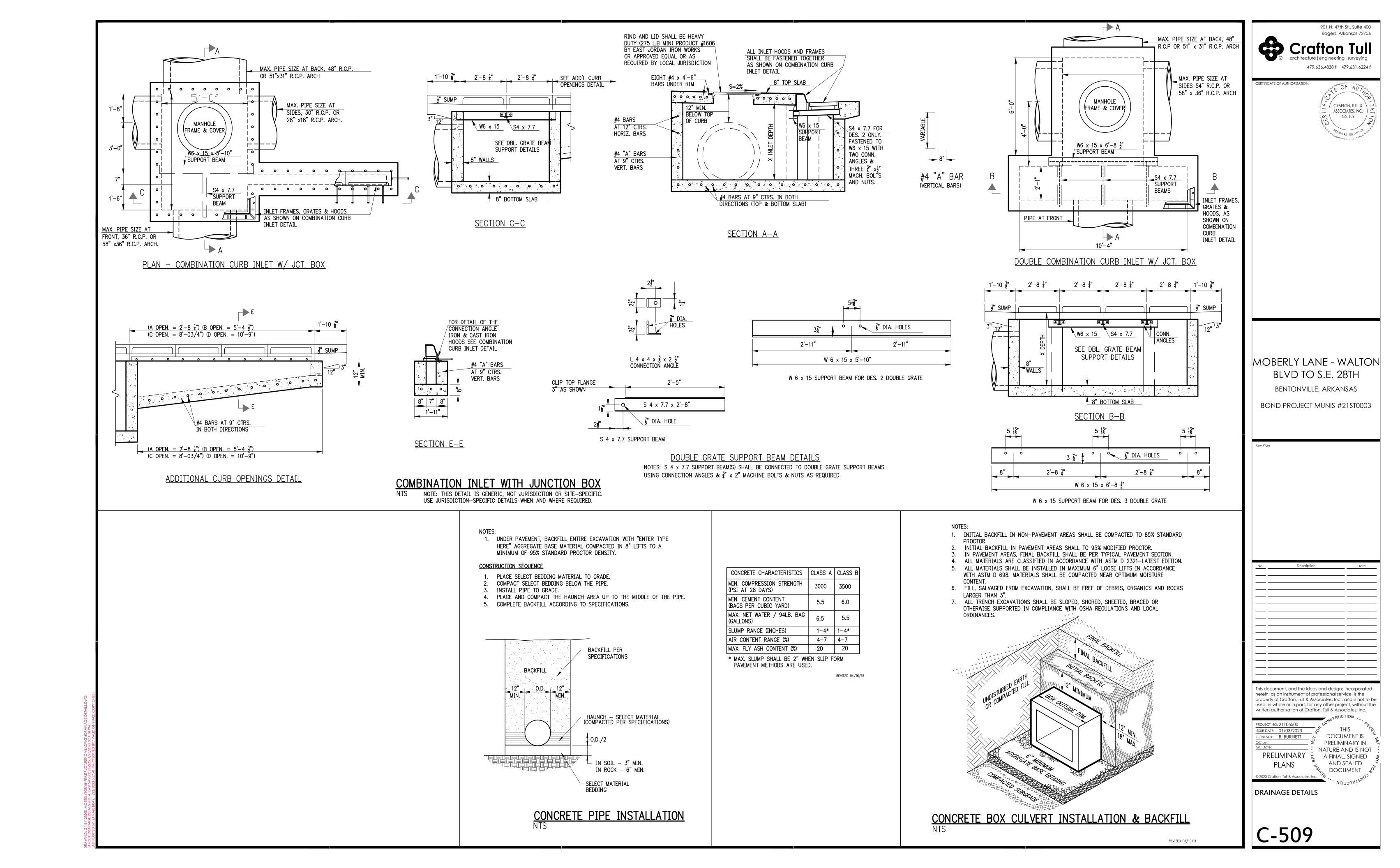
PRELIMINARY PLANS

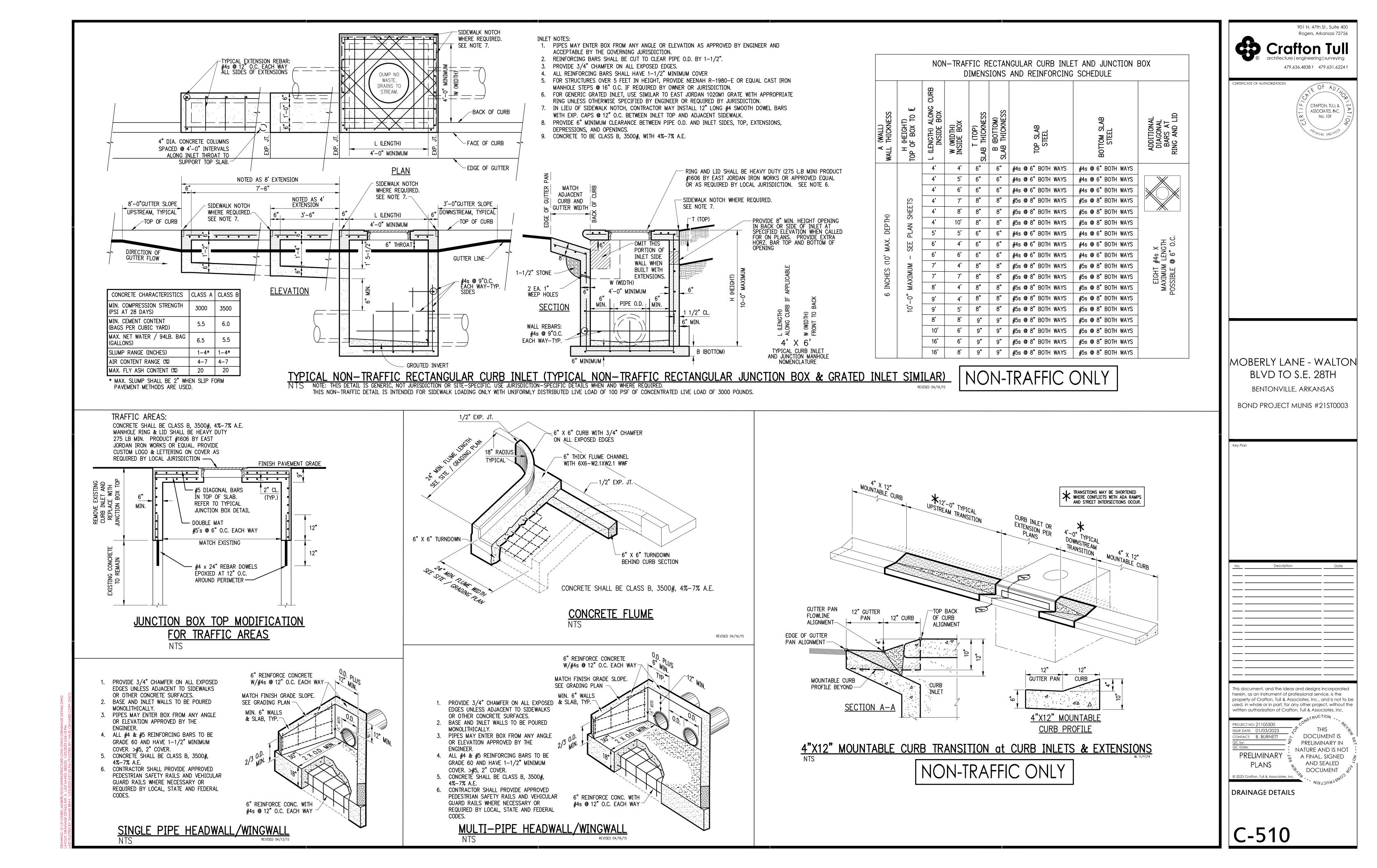
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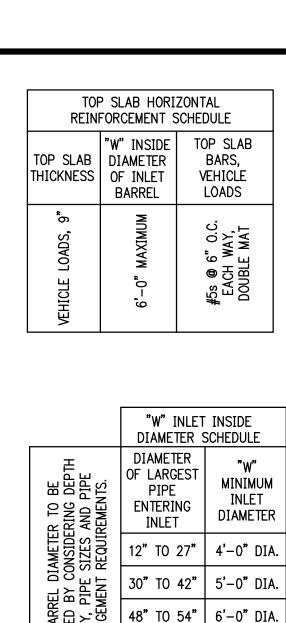
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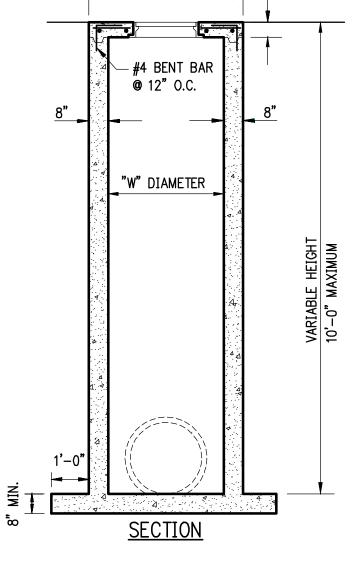
A FINAL, SIGNED

DRAINAGE DETAILS





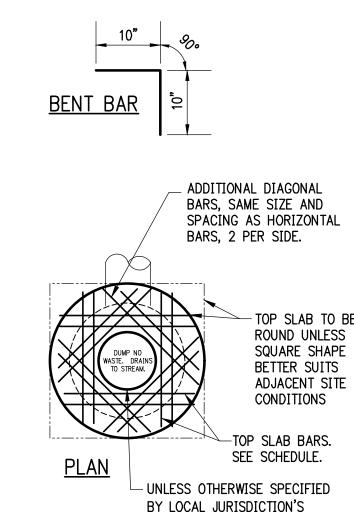




SEE TOP SLAB

HORIZONTAL BAR

SCHEDULE



EQUAL.

STANDARDS OR CUSTOMIZED

REQUIREMENTS, LID AND RING

SHALL BE HEAVY DUTY EAST

JORDAN #1606 OR APPROVED

TRAFFIC-RATED

NOTES:

1. PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES UNLESS ADJACENT TO SIDEWALKS OR OTHER CONCRETE SURFACES.

PIPES ARE LIMITED TO 60

DEGREES. IF GREATER,

USE NEXT

LARGER-DIAMETER INLET

BARREL.

- BASE AND INLET WALLS TO BE POURED MONOLITHICALLY. 3. PIPES MAY ENTER BOX FROM ANY ANGLE OR ELEVATION
- APPROVED BY THE ENGINEER. 4. ALL #4 & #5 REINFORCING BARS TO BE GRADE 60 AND HAVE 1-1/2" MINIMUM COVER. >#5, 2" COVER.
- 5. PROVIDE DOUBLE MAT FOR SQUARE-TOP SLAB. 6. TOP SLAB, CLASS B, 3500#, 4%-7% A.E.

TYPICAL TRAFFIC-RATED CIRCULAR-BARREL JUNCTION BOX

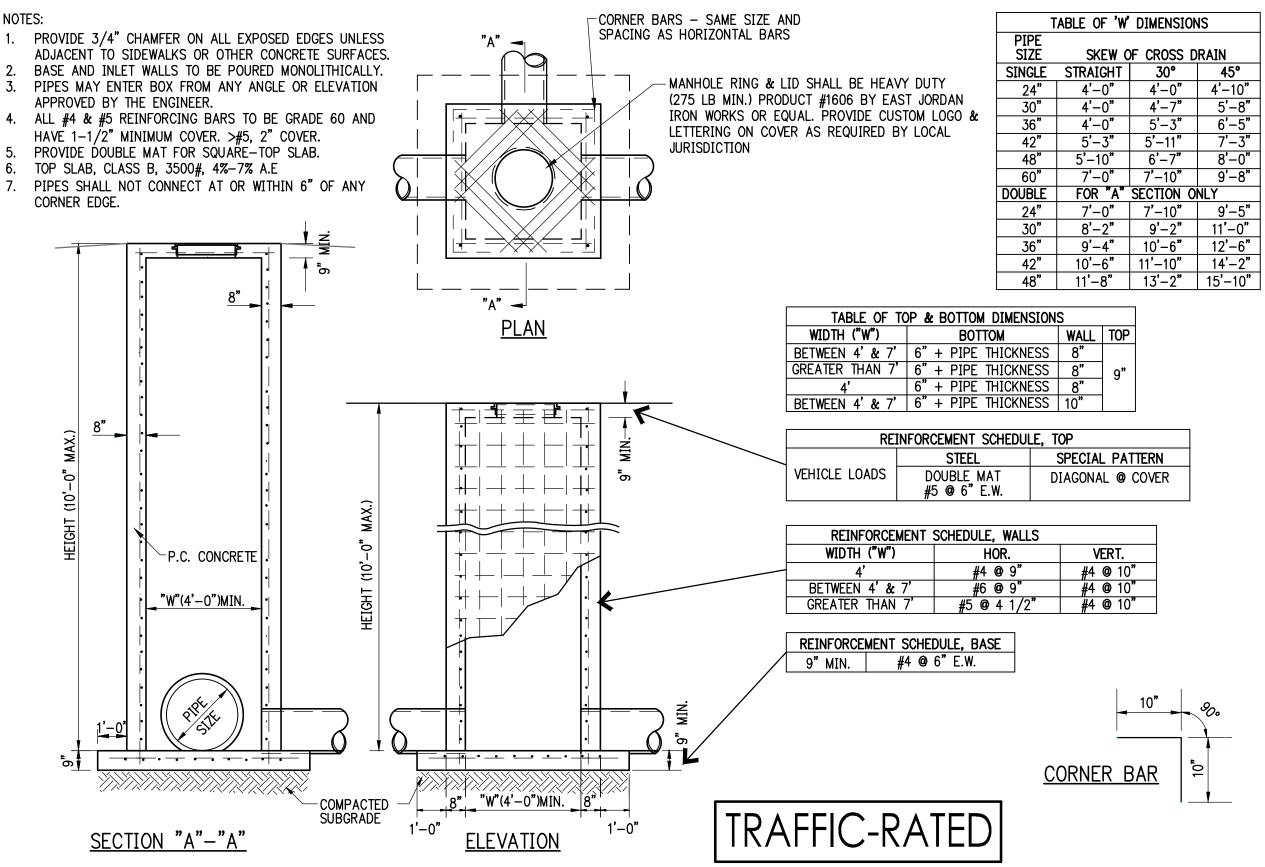
SEE "D" TOP SLAB

HORIZONTAL BAR

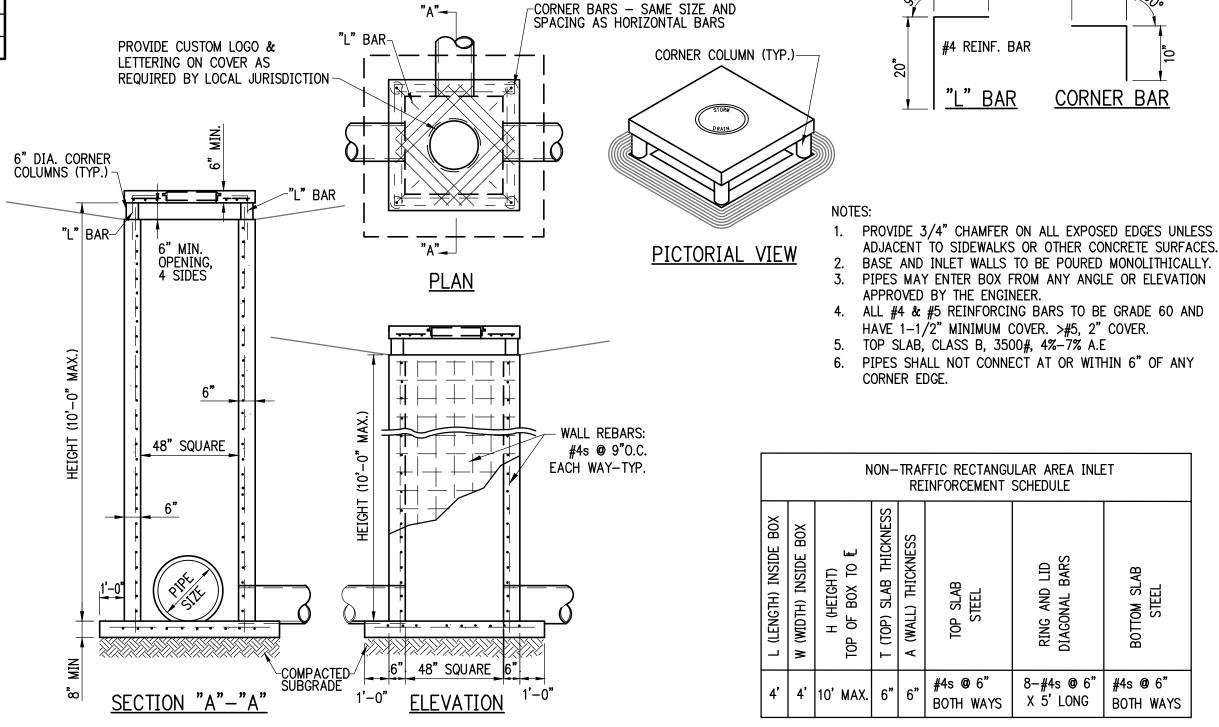
NOTE: THIS DETAIL IS GENERIC, NOT JURISDICTION OR SITE—SPECIFIC. USE JURISDICTION-SPECIFIC DETAILS WHEN AND WHERE REQUIRED.

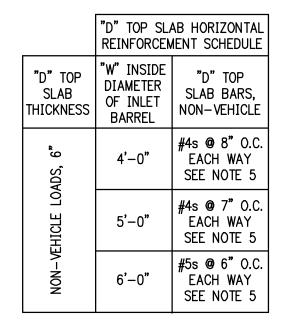
CONCRETE CHARACTERISTICS | CLASS A | CLASS | MIN. COMPRESSION STRENGTH 3000 3500 (PSI AT 28 DAYS) MIN. CEMENT CONTENT 6.0 5.5 (BAGS PER CUBIC YARD) MAX. NET WATER / 94LB. BAG 5.5 (GALLONS) SLUMP RANGE (INCHES) 1-4* | 1-4* AIR CONTENT RANGE (%) 4-7 4-7 MAX. FLY ASH CONTENT (%) 20 | 20

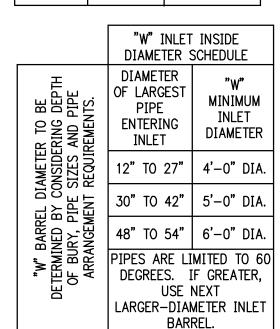
* MAX. SLUMP SHALL BE 2" WHEN SLIP FORM PAVEMENT METHODS ARE USED.



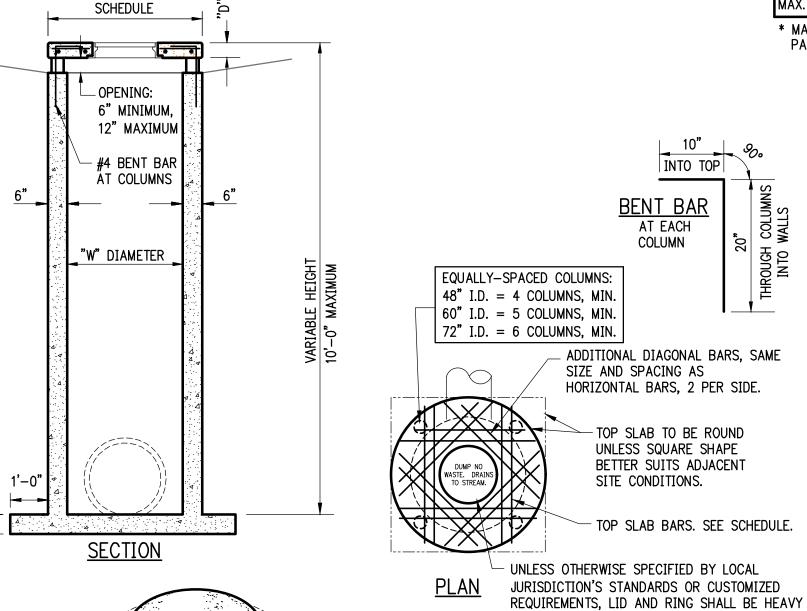
TYPICAL TRAFFIC-RATED RECTANGULAR BARREL JUNCTION BOX







- 1. PROVIDE 3/4" CHAMFER ON ALL EXPOSED EDGES UNLESS ADJACENT TO SIDEWALKS OR OTHER CONCRETE SURFACES. 2. BASE AND INLET WALLS TO BE POURED MONOLITHICALLY. 3. PIPES MAY ENTER BOX FROM ANY ANGLE OR ELEVATION
- APPROVED BY THE ENGINEER. 4. ALL #4 & #5 REINFORCING BARS TO BE GRADE 60 AND
- HAVE 1-1/2" MINIMUM COVER. >#5, 2" COVER. 5. TOP SLAB, CLASS B, 3500#, 4%-7% A.E



NON-TRAFFIC ONLY

DUTY EAST JORDAN #1606 OR APPROVED EQUAL.

NON-TRAFFIC CIRCULAR-BARREL AREA INLET NOTE: THIS DETAIL IS GENERIC, NOT JURISDICTION OR SITE-SPECIFIC. USE JURISDICTION-SPECIFIC DETAILS WHEN AND WHERE REQUIRED.

NON-TRAFFIC ONLY

TYPICAL 4'X4' NON-TRAFFIC RECTANGULAR BARREL AREA INLET NOTE: THIS DETAIL IS GENERIC, NOT JURISDICTION OR SITE-SPECIFIC.

USE JURISDICTION-SPECIFIC DETAILS WHEN AND WHERE REQUIRED.

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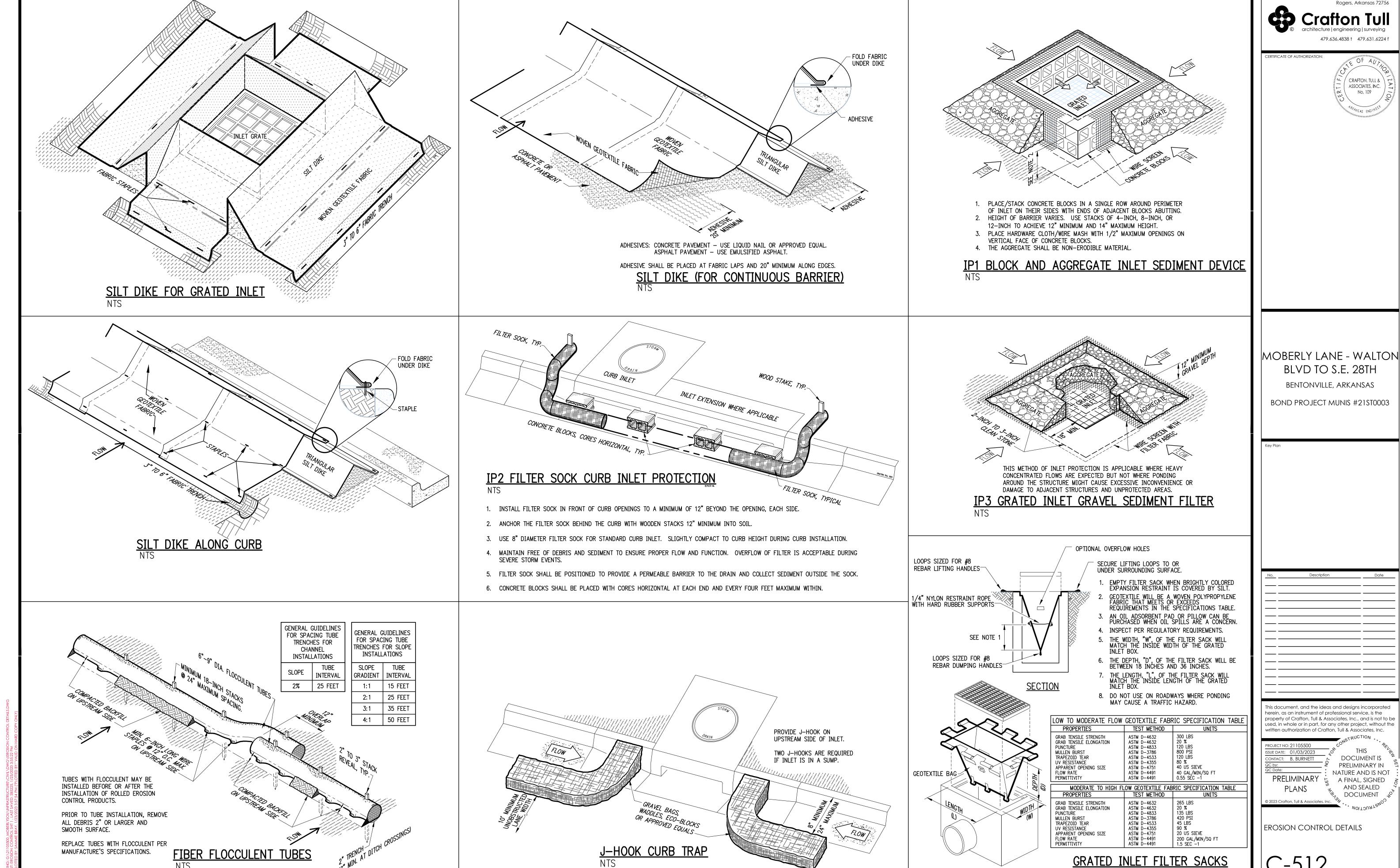
No.	Description	Date
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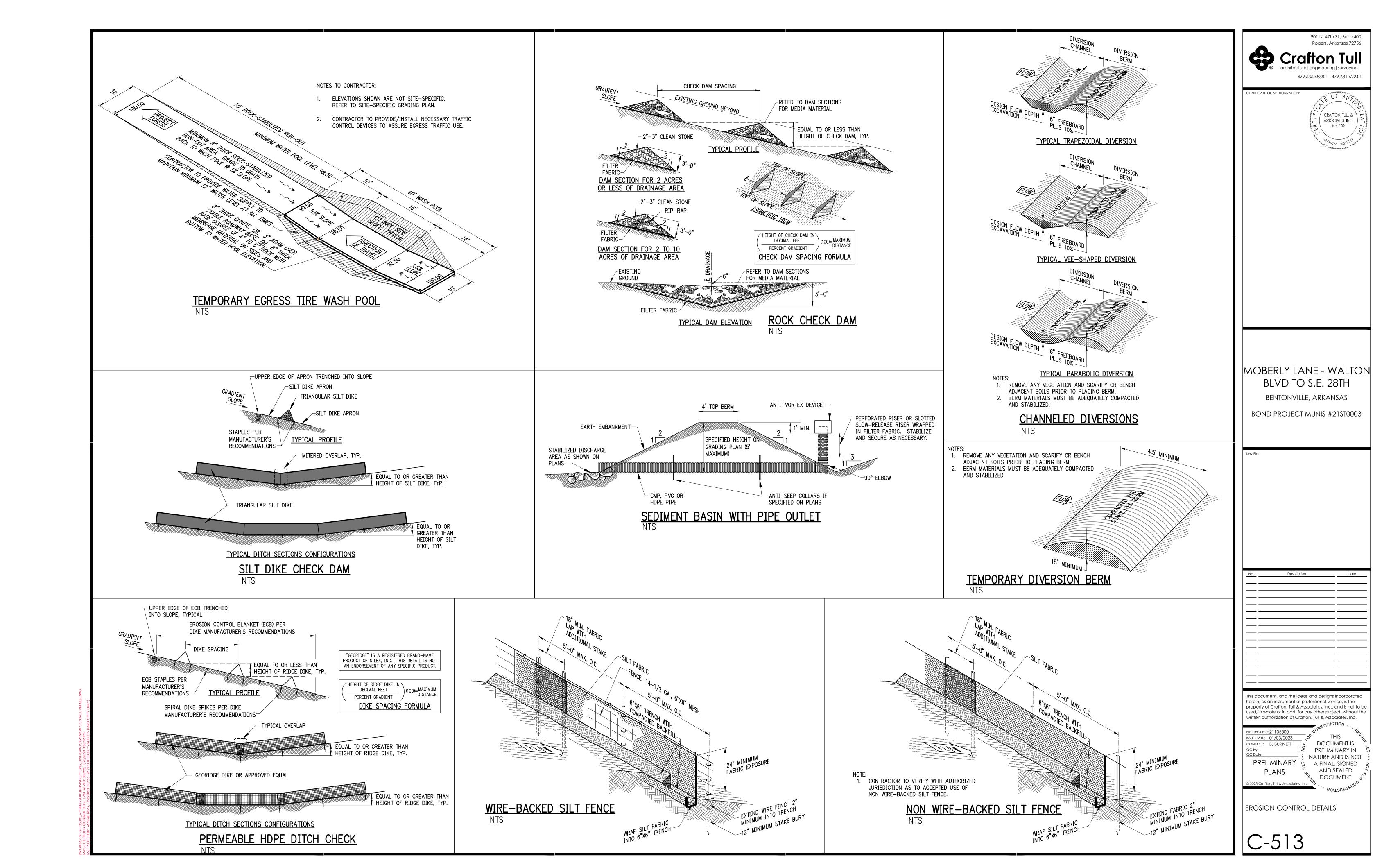
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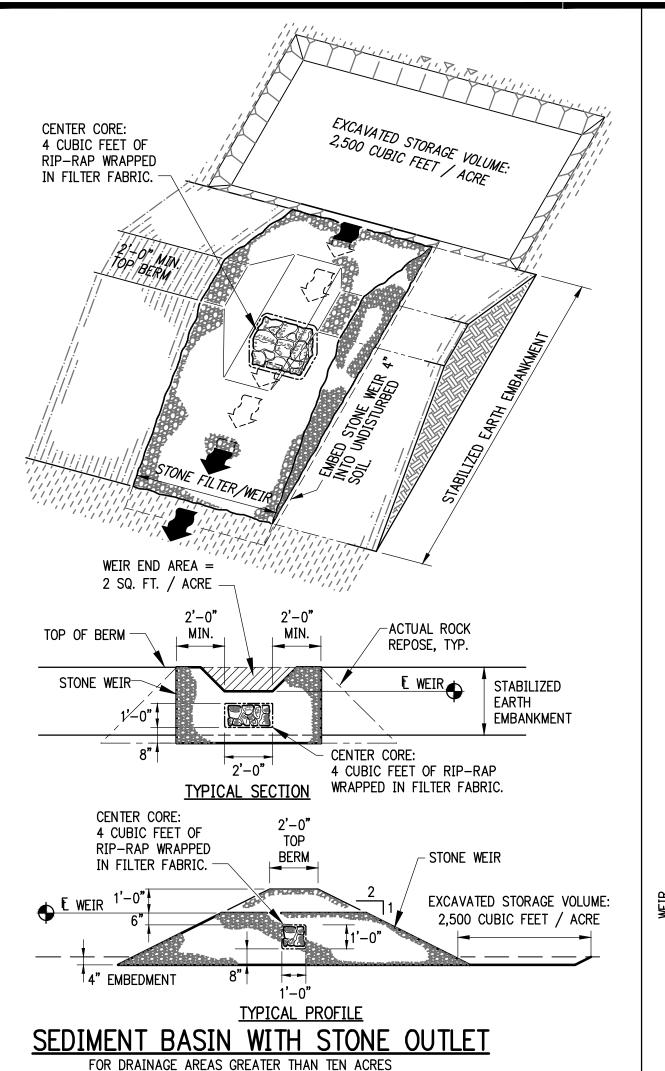
DRAINAGE DETAILS

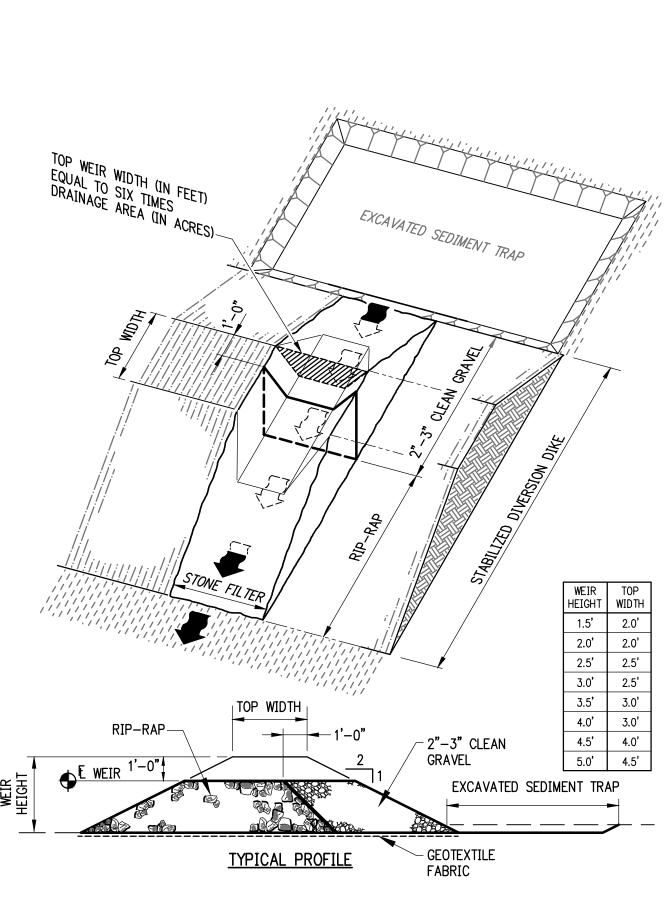
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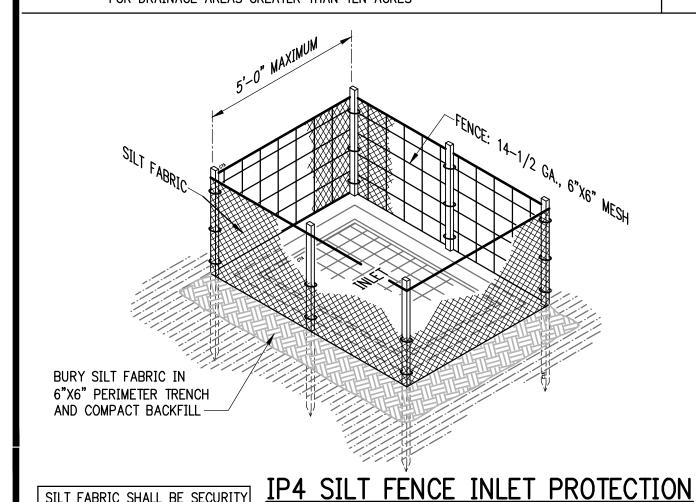








SEDIMENT BASIN WITH STONE OUTLET FOR DRAINAGE AREAS LESS THAN TEN ACRES

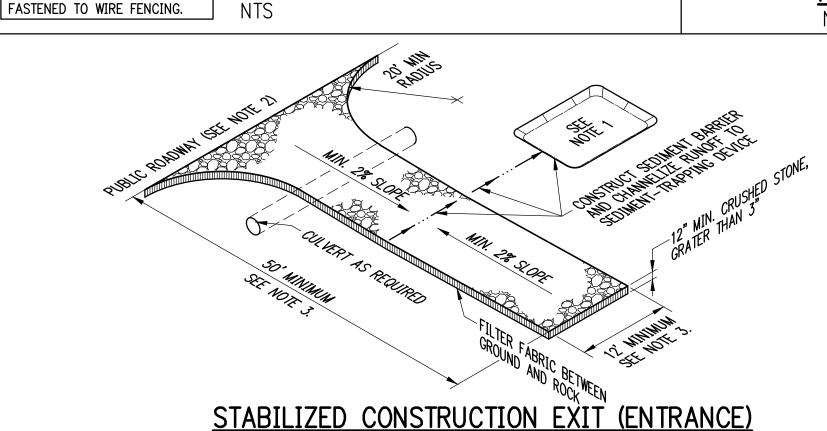


SILT FABRIC SHALL BE SECURITY

HEADWALL SHOWN ONLY FOR CLARITY. SEE SITE AND GRADING PLANS FOR SITE-SPECIFIC APPLICATIONS.-SEE SITE PLAN FOR DIMENSIONS AND LIMITS OF RIP-PAP. PERMANENT RIP-RAP SHALL BE GROUTED AS SPECIFIED.

STONES SHALL CONSIST OF FIELD STONE OR ROUGH, UNHEWN QUARRY STONE AS NEARLY UNIFORM IN SIZE AS PRACTICAL. STONES SHALL BE DENSE, RESISTANT TO THE ACTION OF WIND AND WATER, AND SUITABLE IN ALL ASPECTS FOR THE INTENDED USE. ALL STONES SHALL WEIGH BETWEEN 50-150 POUNDS EACH AND AT LEAST 60% OF THE STONES SHALL WEIGH MORE THAN 100 POUNDS EACH.

RIP-RAP SLOPE PROTECTION



- 1. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES EXIT ONTO THE PUBLIC ROADS. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF SITE.
- 2. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 3. LENGTH AND WIDTH TO SUIT SITE, CONSTRUCTION TRAFFIC AND EFFECTIVENESS.

PHASE I

INSTALL STABILIZED CONSTRUCTION ENTRANCES/EXITS. PREPARE TEMPORARY PARKING AND STORAGE AREAS. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASH-OUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

CONSTRUCT THE SILT FENCES ON THE SITE.

- CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEER CONSULTANT TO PERFORM INSPECTION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
- CLEAR AND GRUB THE SITE. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
- BEGIN GRADING THE SITE.

<u>PHASE II</u>

- TEMPORARILY SEED DENUDED AREAS.
- INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL RIP-RAP AROUND OUT STRUCTURES. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
- PREPARE SITE FOR PAVING. PAVE SITE.
- INSTALL INLET PROTECTION DEVICES. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IF SITE IS

GENERAL EROSION NOTES:

THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING (SITE MAP), THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN THE SPECIFICATIONS SECTION 312800 (EROSION AND SEDIMENTATION CONTROL), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.

ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF XXXXXXXXXXX NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.

CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.

BEST MANAGEMENT PRACTICES (BMP) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AND APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.

SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON THE SITE AT ALL TIMES.

CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.

GENERAL CONTRACTOR SHALL DENOTE THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, AND AREA FOR PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES.

ALL WASH WATER (CONCRETE TRUCKS, VEHICLE AND EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.

SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.

DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM BEING BLOWN OR WASHED OFF-SITE.

ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN AND SWPPP SHALL BE INITIATED AS SOON AS POSSIBLE.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS SHALL BE TEMPORARY SEEDED.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.

O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES EXIT ONTO THE PUBLIC ROADS. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE.

ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

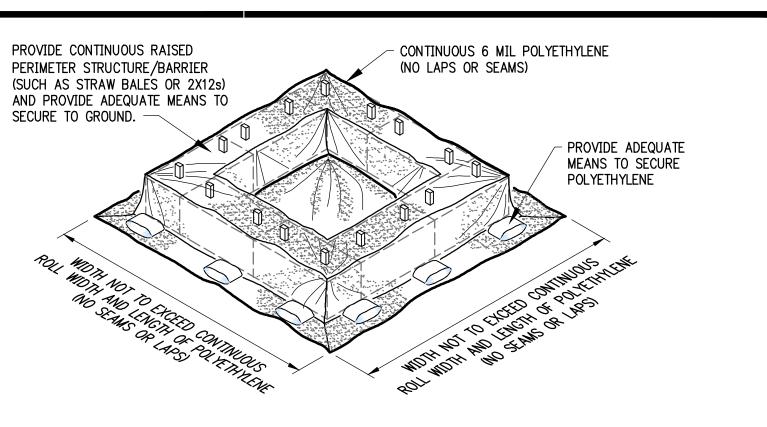
CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.

ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH THE GENERAL PERMIT.

SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.

DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.

ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

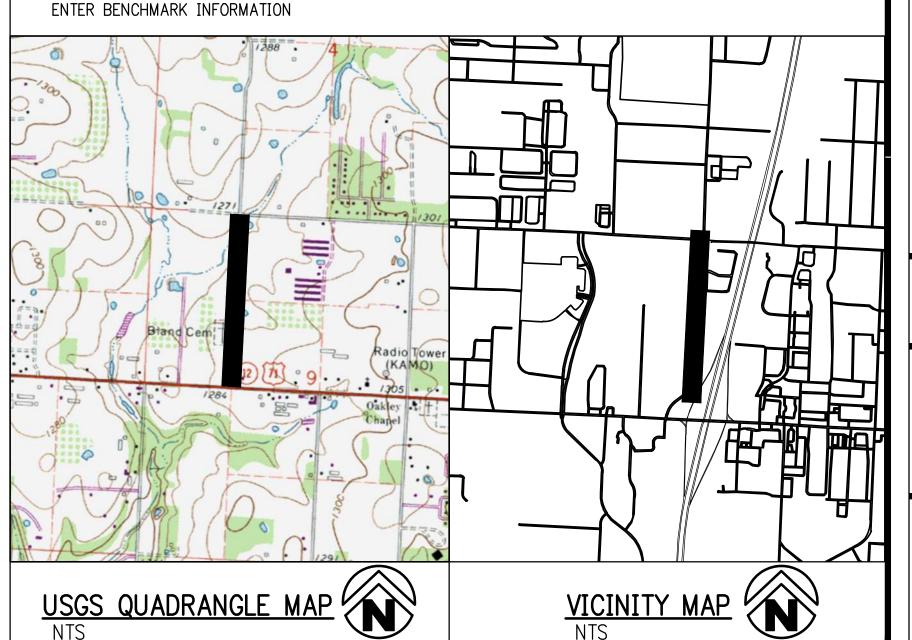


CONCRETE WASH-OUT BASIN

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	ОСТ	NOV	DEC	JAN	FEB	MAR	APR	MA
ROUGH GRADE / SEDIMENT CONTROL																	
TEMPORARY CONTROL MEASURES																	
STRIP & STOCKPILE TOPSOIL																	
STORM FACILITIES																	
TEMPORARY CONSTRUCTION ROADS																	
FOUNDATION / BUILDING CONSTRUCTION																	
SITE CONSTRUCTION																	
PERMANENT CONTROL STRUCTURES																	
FINISH GRADING																	
LANDSCAPING/SEED/FINAL STABILIZATION																	

		DEVELOPER/OWNER: ENTER DEVELOPER INFORMATION
ACREAGE	SUMMARY	
IMPERVIOUS AREA	ENTER ACREAGE	
SEEDED AREA	ENTER ACREAGE	SITE OPERATOR/GENERAL CONTRACTOR:
TOTAL DISTURBED	ENTER ACREAGE	
		SUPERINTENDENT:

T.B.M.





CRAFTON, TULL & ASSOCIATES, INC. No. 109

MOBERLY LANE - WALTON BLVD TO S.E. 28TH BENTONVILLE, ARKANSAS

BOND PROJECT MUNIS #21ST0003

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ROJECT NO: 21105500 SSUE DATE: 01/03/2023 **PRELIMINARY**

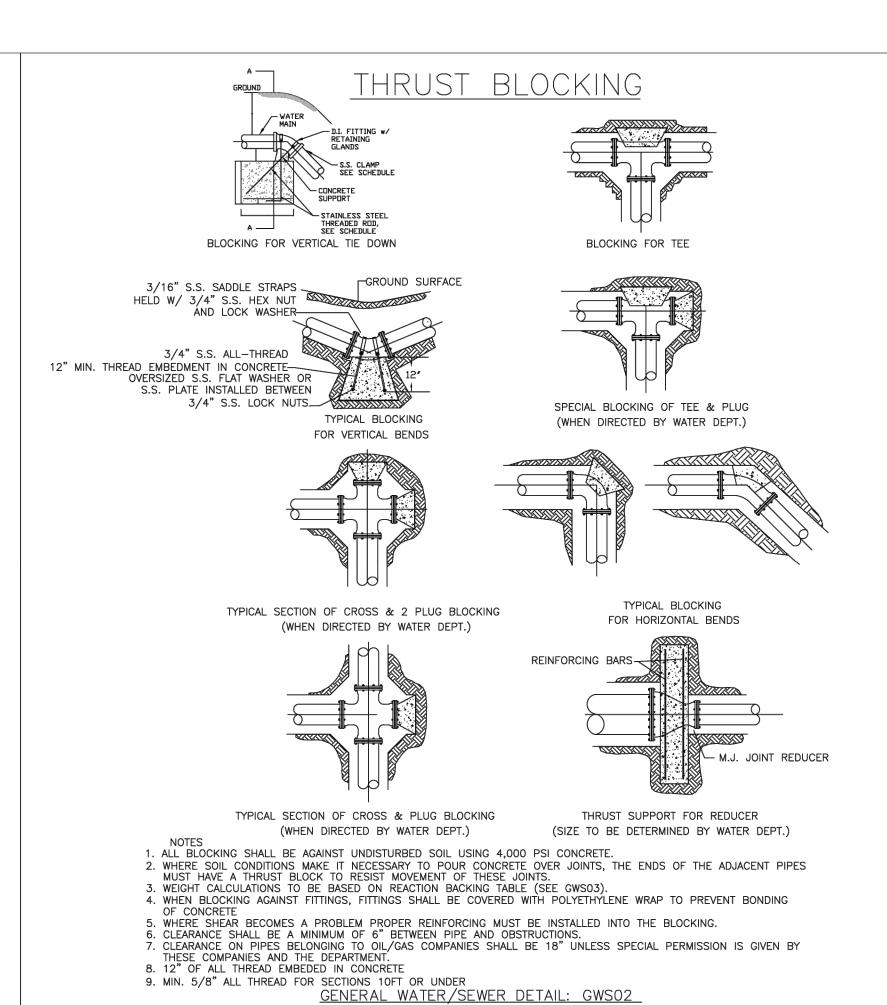
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THIS

EROSION CONTROL DETAILS

TO BE SPECIFIED PLACE INSULATOR/SPACER-AT CENTER OF PIPE JOINT CASING PIPET STAINLESS STEEL CLAMPS/BANDS - PLACE INSULATOR/SPACER AT ENDS OF CASING PIPE IC NOTE: SPACERS ARE TO BE NO GREATER THAN 8' APART OR AS SPECIFIED BY MANUFACTURER. SYNTHETIC TWO PIECE STAINLESS STEEL BAND CASING INSULATORS/SPACERS RUBBER END SEAL POLYMER PLASTIC RUNNERS-7 STAINLESS STEEL BAND-STAINLESS STEEL JACK -SECTION A-A SECTION B-B CARRIER & CASING SIZES CARRIER 4" 6" 8" 10" 12" 14" 16" 18" 20" CASING 16" 16" 16" 18" 20" 24" 30" 30" 36" CASING/WALL THICKNESS .219 .219 .219 .250 .281 .344 .406 .406 .500 NOTE: DUCTILE IRON, OR PVC PIPE REQUIRED FOR WATER, OR SEWER. *ALL BELLS SHALL BE RESTRAINED INSIDE ENCASEMENT BY APPROVED METHOD.

ENCASEMENT DETAIL



REACTION BACKING TABLE

	PIPE		BE	NDS					
	SIZE		45°	22 1/2*	11 1/4*	ROD DIA.			
	VOLUM	E REQ'D (CU. FT.)	98.5	50.2	25.2				
		A (FT.)	5.00'	4.00'	3.00'				
	8"	B (FT.)	4.00'	3.20'	2.80'	3/4 IN.			
	0	8" C (FT.) 5.00' 4.00' 3.00							
		MIN. CLAMP (2 EA.)	3/8						
	VOLUM	E REQ'D (CU. FT.)	209.5	106.8	53.7				
		A (FT.)	6.00'	5.00'	4.00'				
	12"	B (FT.)	6.00'	4.25'	3.50'	3/4 IN.			
		C (FT.)	6.00'	5.00'	4.00'				
		MIN. CLAMP (2 EA.)	1/2	N. x 2	IN.				
	VOLUM	E REQ'D (CU. FT.)	457.2	233.1	117.1				
		A (FT.)	8.00'	6.50'	5.00'				
	18"	B (FT.)	7.25'	5.50'	4.75'	1 IN.			
	10	C (FT.)	8.00'	6.50'	5.00'				
		MIN. CLAMP (2 EA.)	5/8	3 IN. x 3	IN.				
	VOLUM	E REQ'D (CU. FT.)	800.3	408.0	205.0				
		A (FT.)	9.50'	7.50'	6.00'				
	24"	B (FT.)	9.00'	7.25	5.75'	1 1/4 IN			
	27	C (FT.)	9.50'	7.50'	6.00'				
		MIN. CLAMP (2 EA.)	5/8	3 IN. x 3	IN.				
RI	EACTING TH TERNAL PR	CULATED ON THE BAS RUST ON THE RESPE ESSURE OF 250 PSI, 5 150 POUNDS PER (CTIVE BENI 50 PSI S	S UNDER		HT OF			

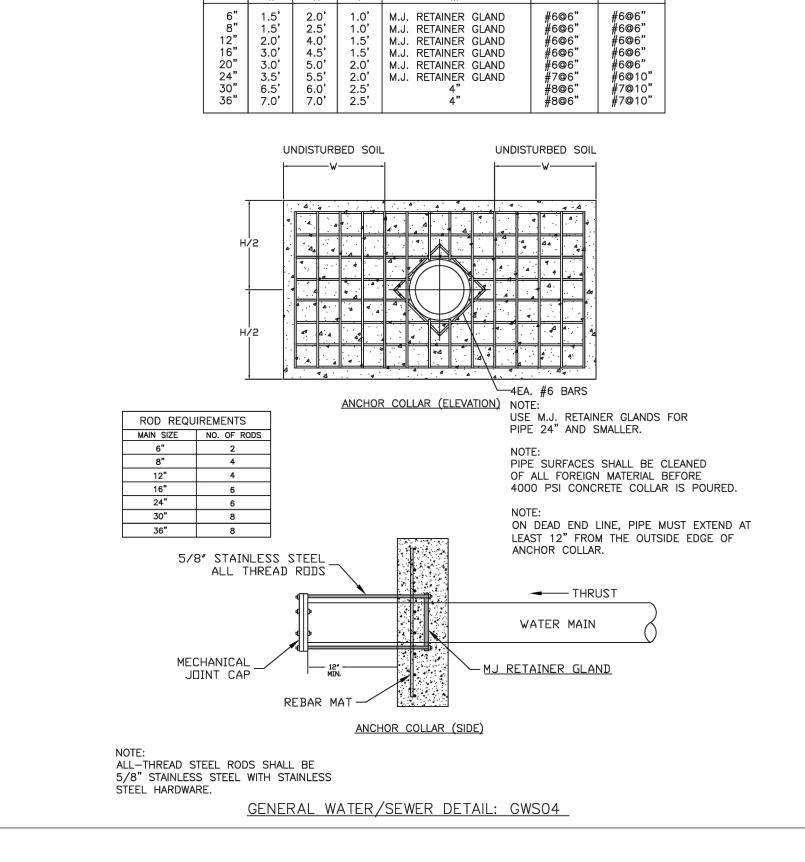
- 1. ALL FITTINGS SHALL BE MECHANICAL JOINTS.
- 2. DO NOT COVER BELLS OR FLANGES WITH CONCRETE.
- WRAP ALL FITTINGS WITH POLY WRAP. 4. BACK ALL TEES ACCORDING TO SIZE OF BRANCH. 5. BACKING FUTURE LINE EXTENSIONS SHALL BE SUCH
- THAT LATER REMOVAL IS POSSIBLE.
- 6. ALL BENDS WHERE FITTINGS ARE USED, BOTH HORIZONTAL OR VERTICAL, SHALL BE BACKED WITH CONCRETE.
- 7. REACTION BACKING TABLE IS BASED ON 150 PSI AND SOIL BEARING PRESSURE OF 2,000 LB/SQ. FT. ADDITIONAL BACKING MAY BE REQUIRED IN SOME AREAS AS REQUIRED BY CITY WATER DEPARTMENT

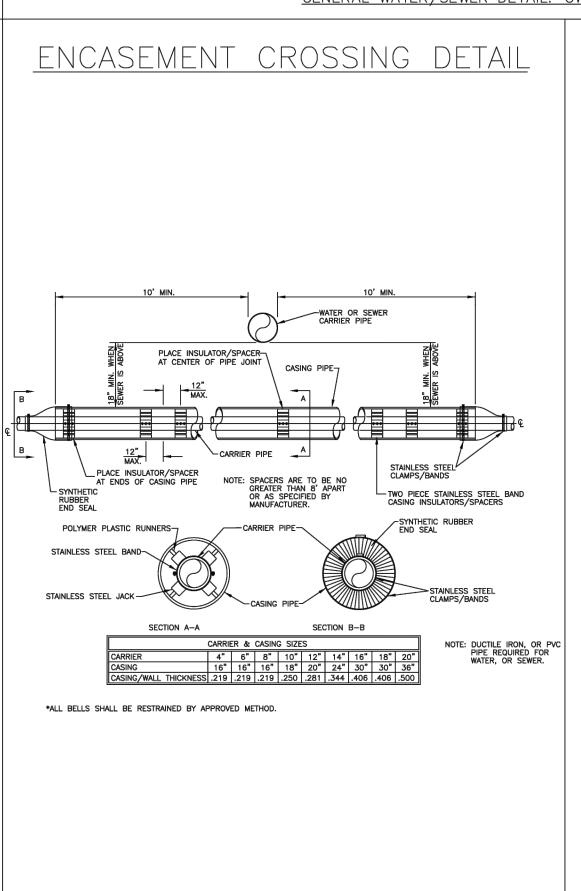
GENERAL WATER/SEWER DETAIL: GWS03

ANCHOR COLLAR SPECIFICATIONS

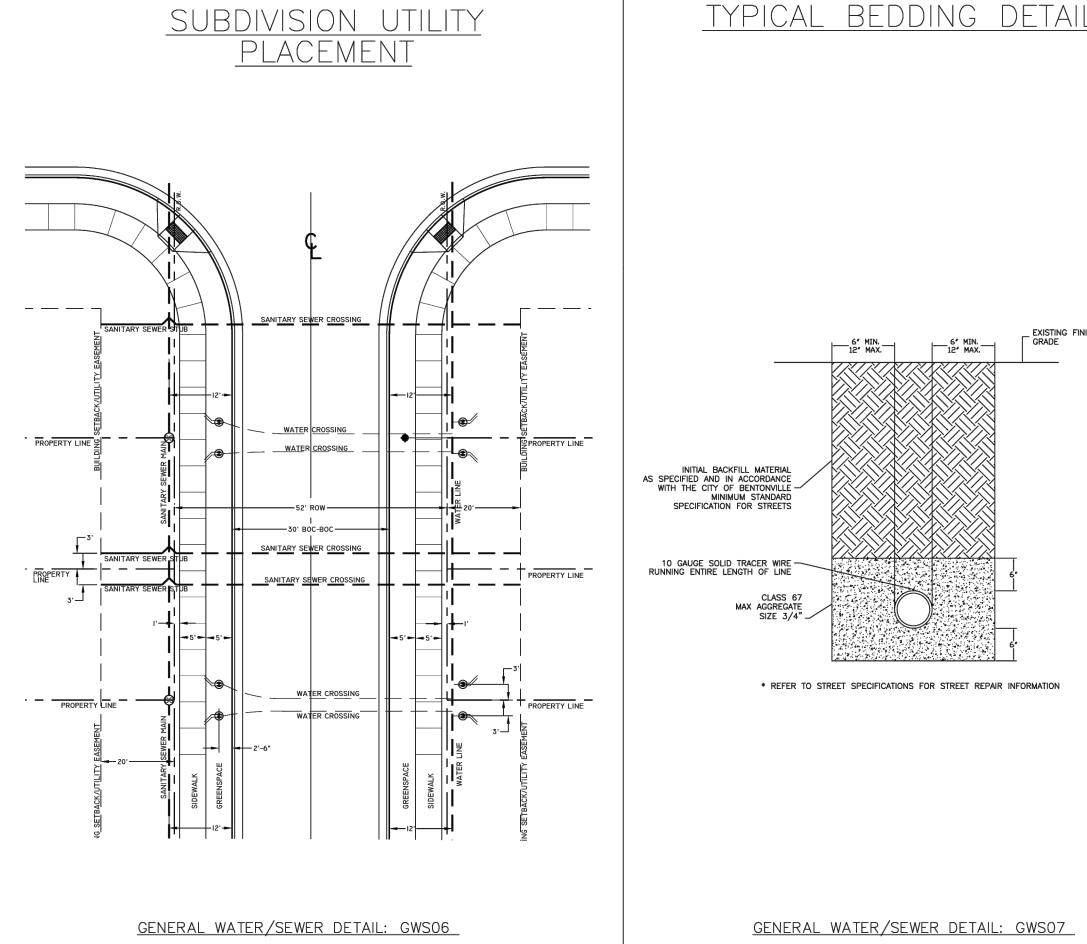
ANCHOR COLLAR SCHEDULE

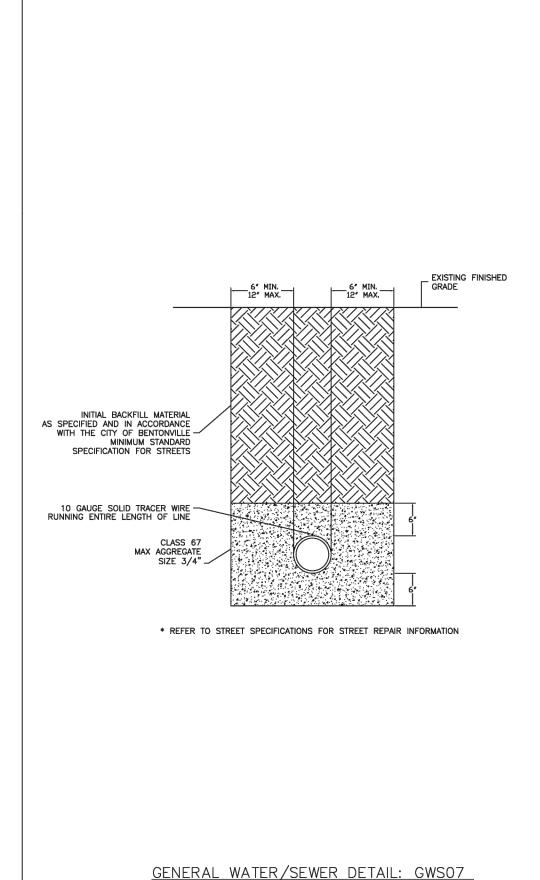
GENERAL WATER/SEWER DETAIL: GWS01





GENERAL WATER/SEWER DETAIL: GWS05



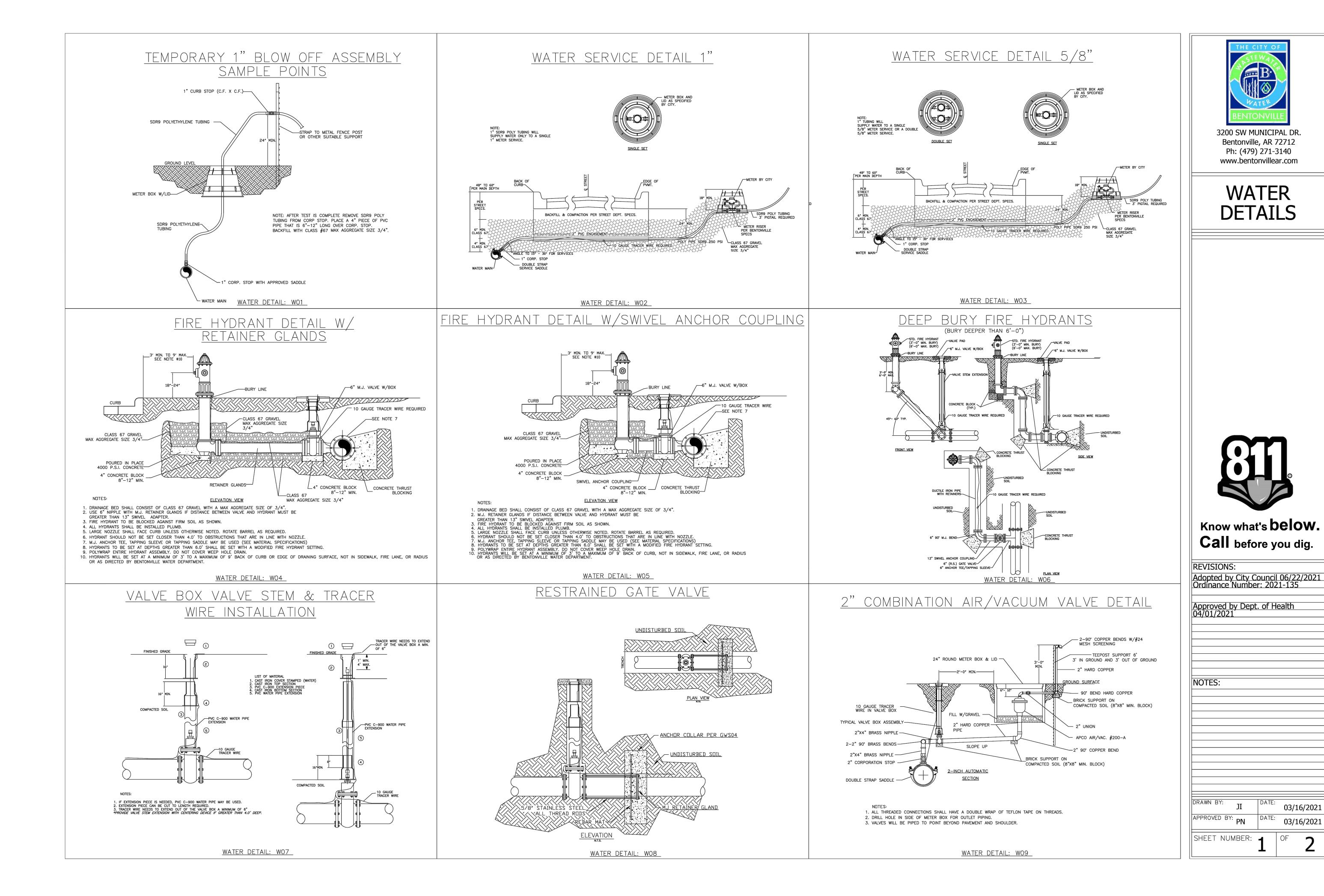






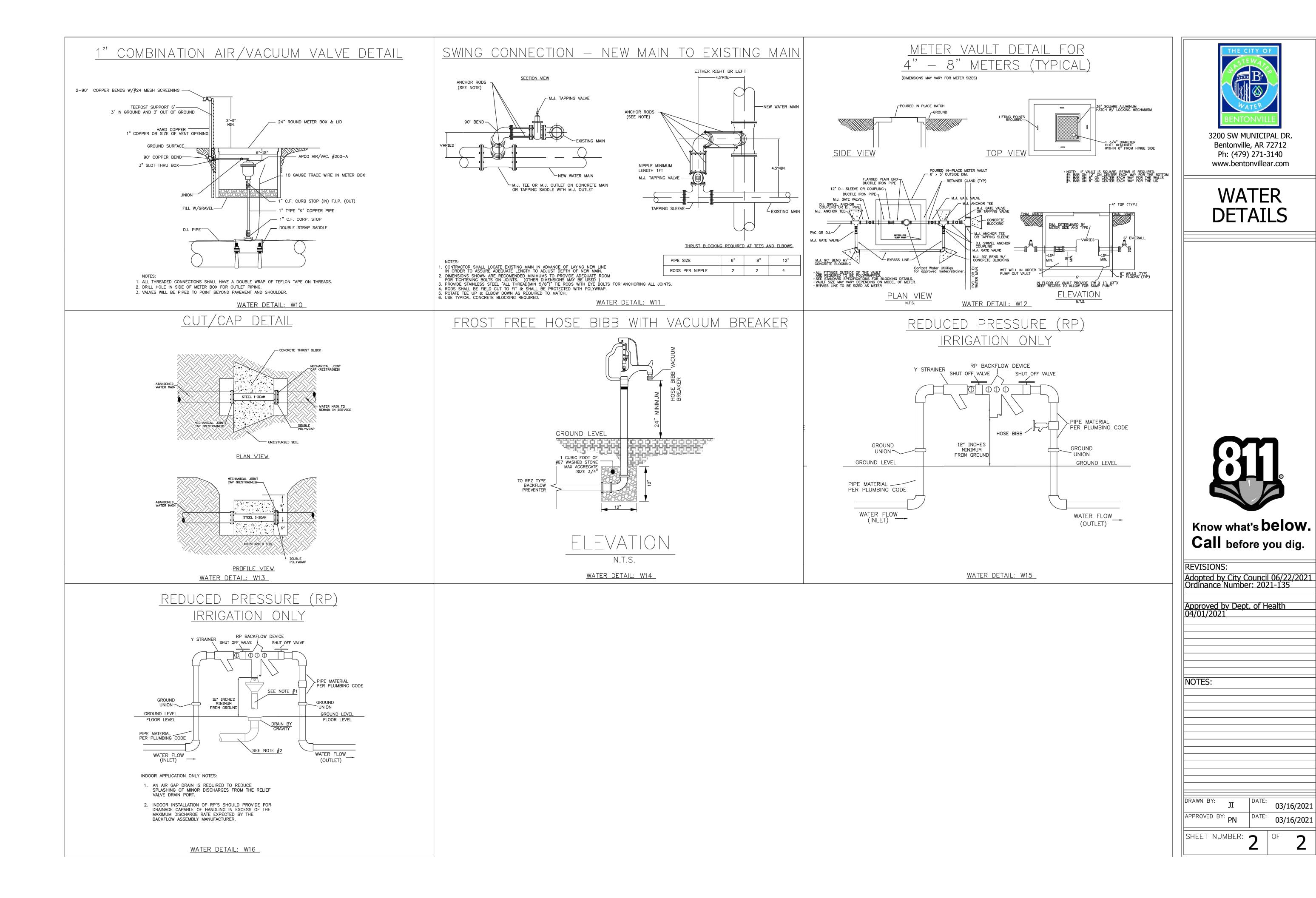
REVISIONS:

Adopted by City C Ordinance Numbe	ounci r: 202	l 06/22/202 21-135
DRAWN BY: JI	DATE:	03/16/202
APPROVED BY: PN	DATE:	03/16/202
SHEET NUMBER:	_	OF 🖪



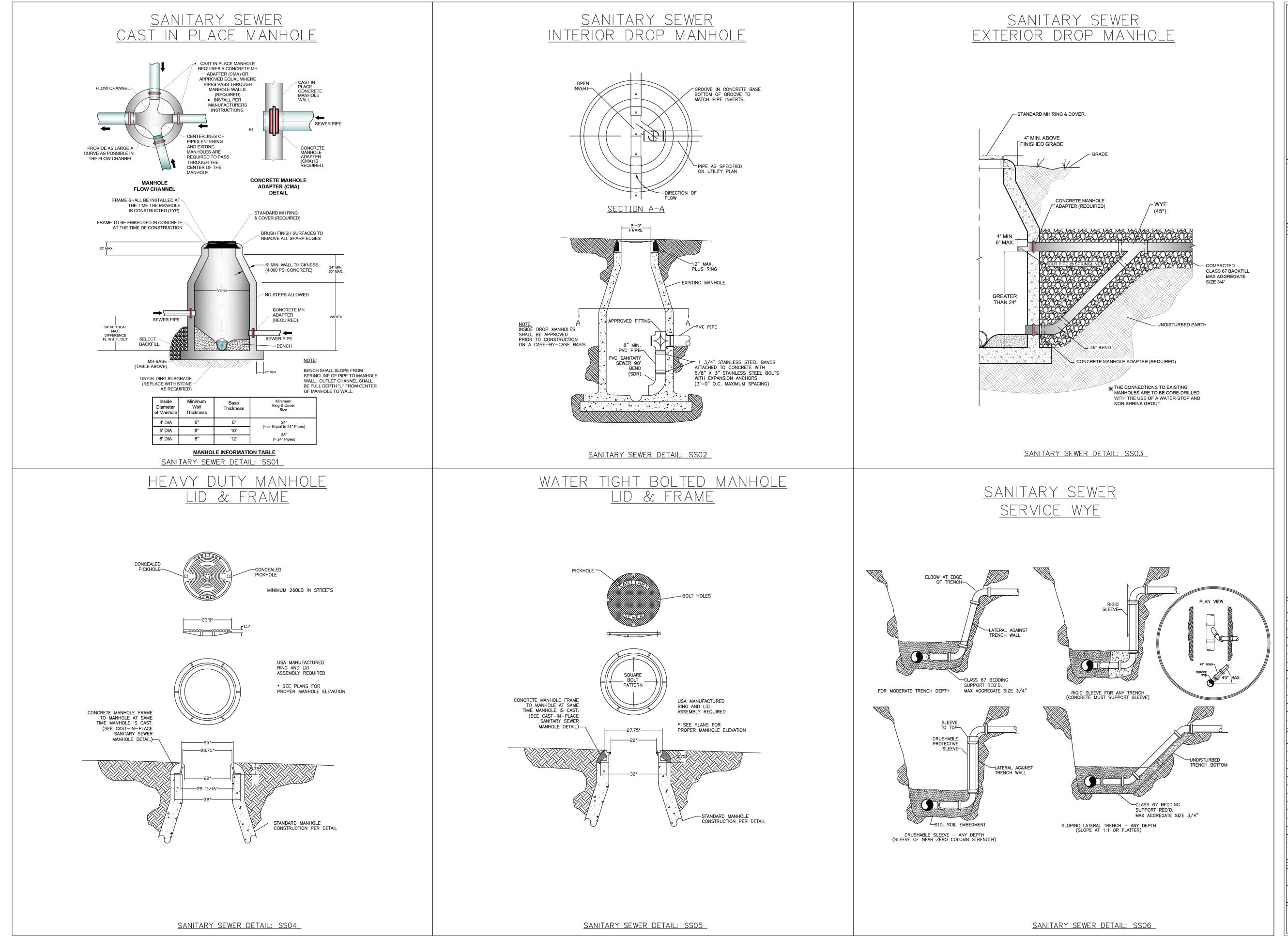
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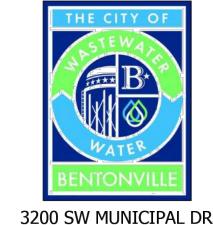
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SAN.SEWER DETAILS



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REVISIONS	
Adopted by Ordinance	/ City Council 06/22/2 Number: 2021-135

Approved by Dept. of Health 04/01/2021

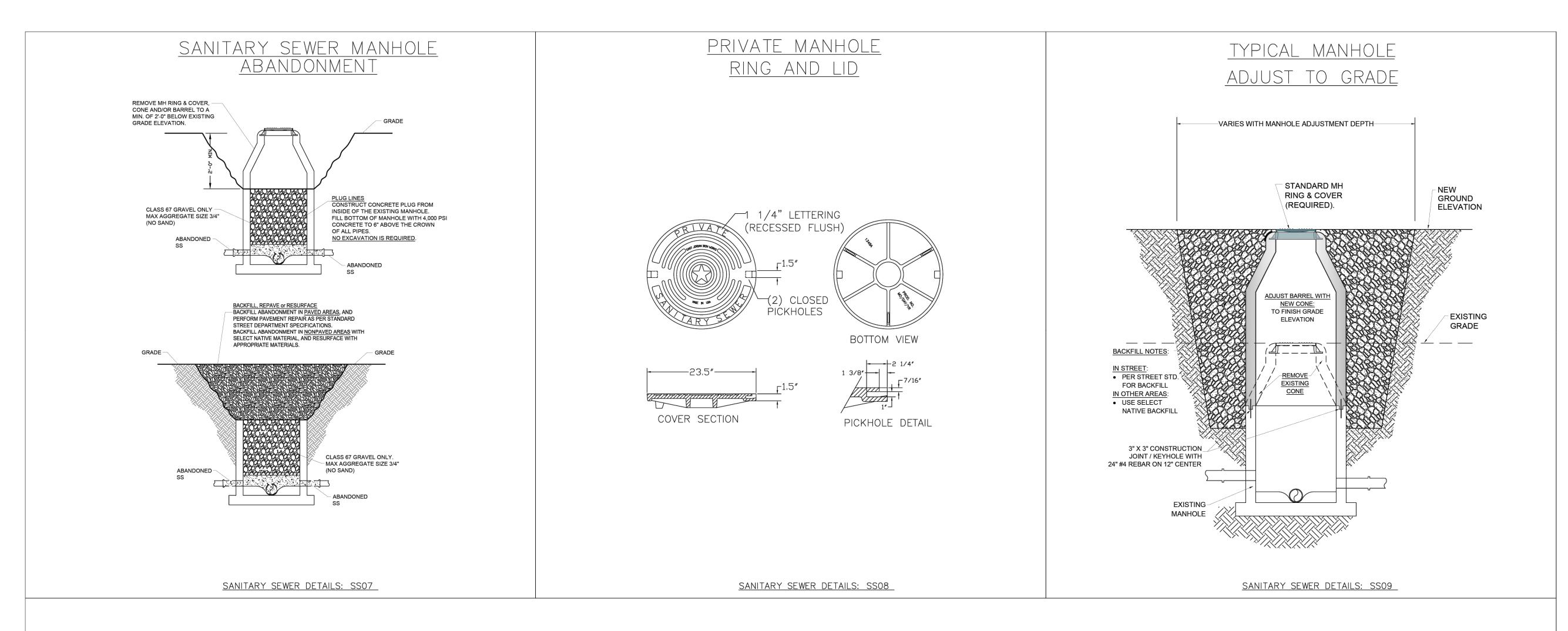
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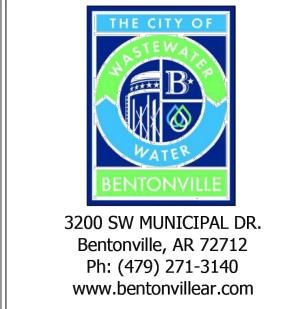
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APPROVED BY: PN DATE: 03/16/2021

SHEET NUMBER:

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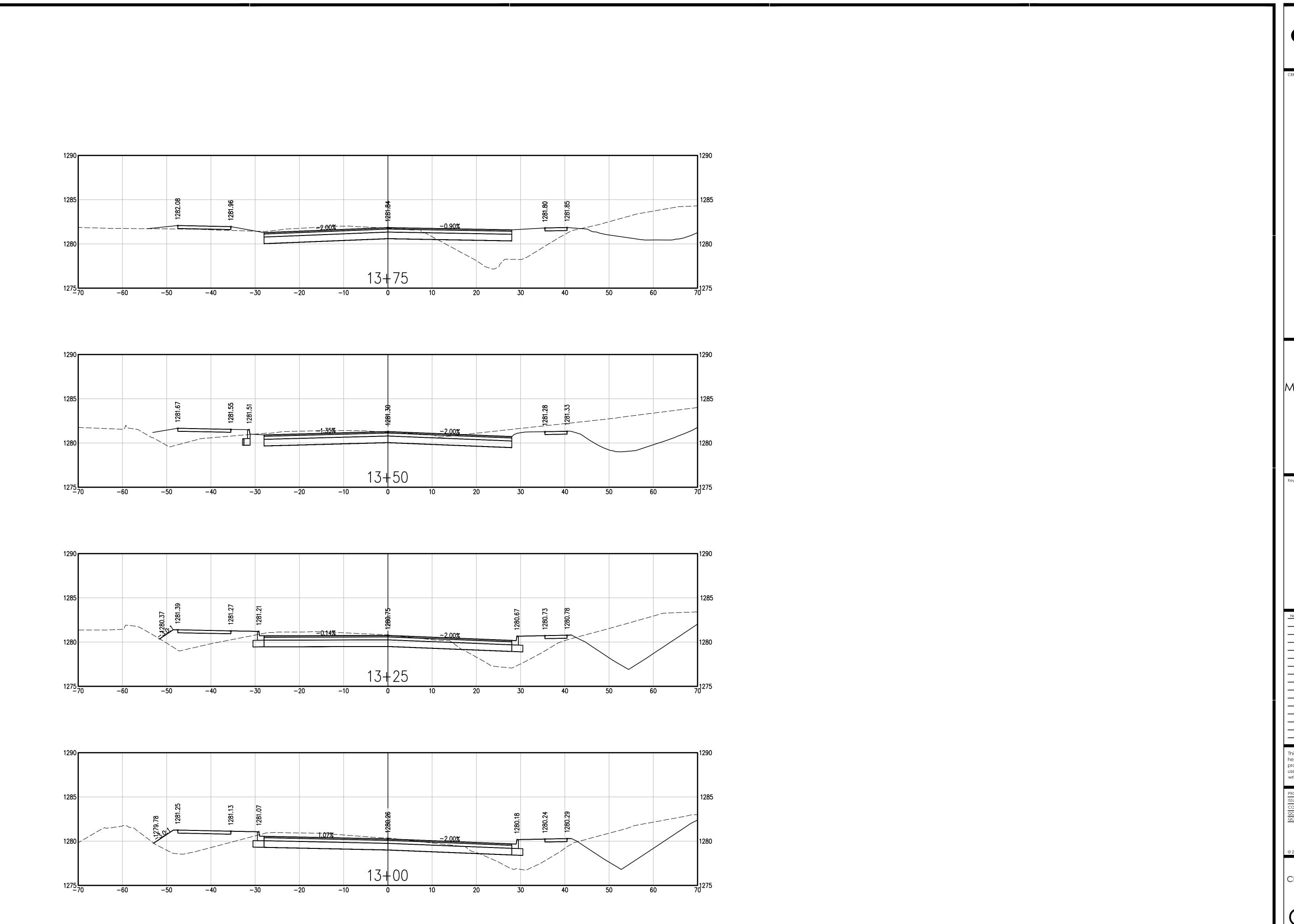




SAN.SEWER DETAILS



Adopted by Ordinance	/ City C Numbe	ouncil r: 202	06/22/20 1-135
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	JI		03/16/20
APPROVED BY	: PN	DATE:	03/16/20
		'	



901 N. 47th St., Suite 400
Rogers, Arkansas 72756

Crafton Tull
architecture | engineering | surveying
479.636.4838 t 479.631.6224 f

CERTIFICATE OF AUTHORIZATION:



MOBERLY LANE - WALTON BLVD TO S.E. 28TH BENTONVILLE, ARKANSAS

BOND PROJECT MUNIS #21ST0003

Key P**l**an

lo. Description Date

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PROJECT NO: 21105500

ISSUE DATE: 01/03/2023

CONTACT: B. BURNETT

QC by:
QC Date:

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QC Date:

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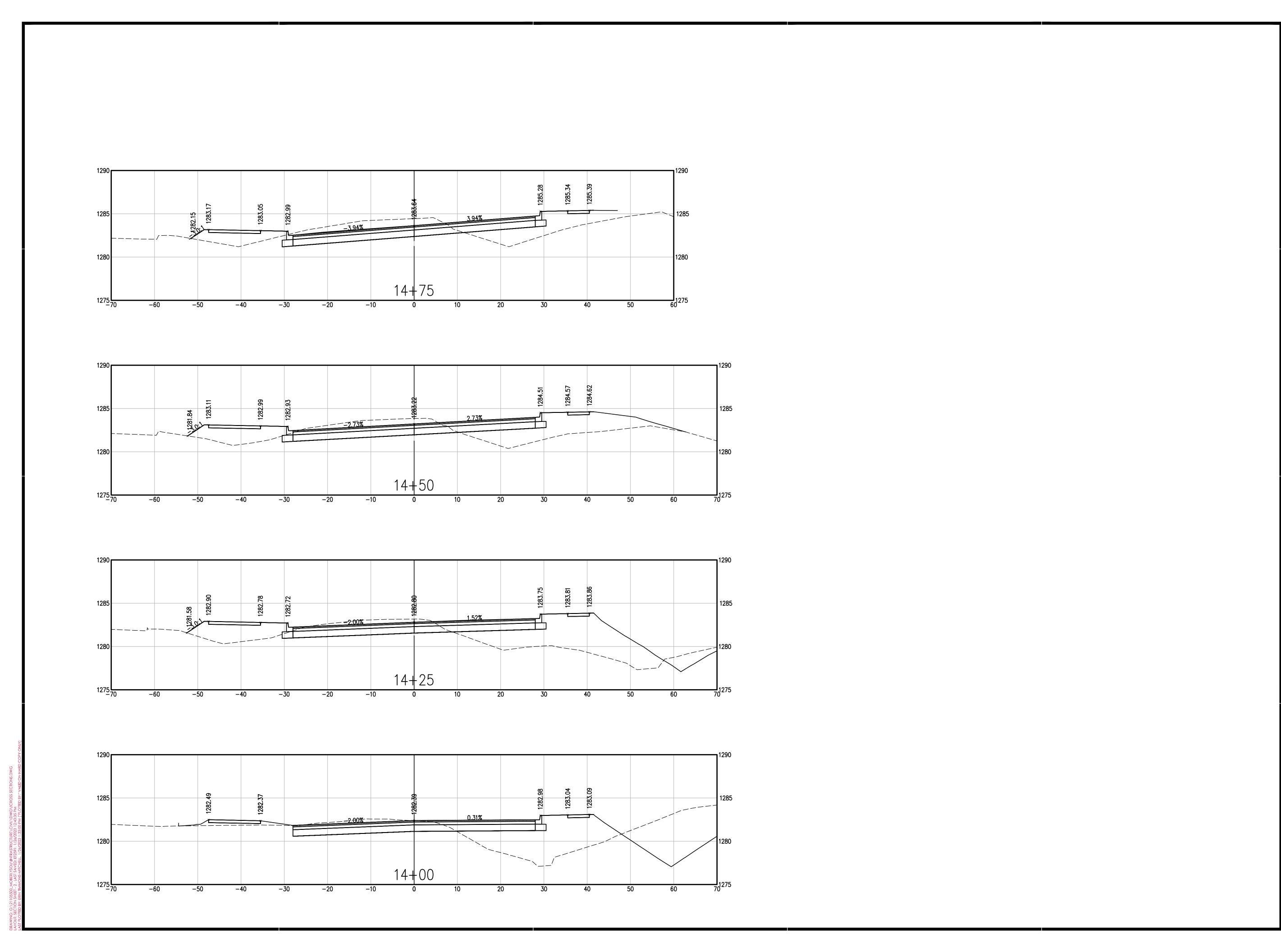
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BENTONVILLE, ARKANSAS

BOND PROJECT MUNIS #21ST0003

Plan

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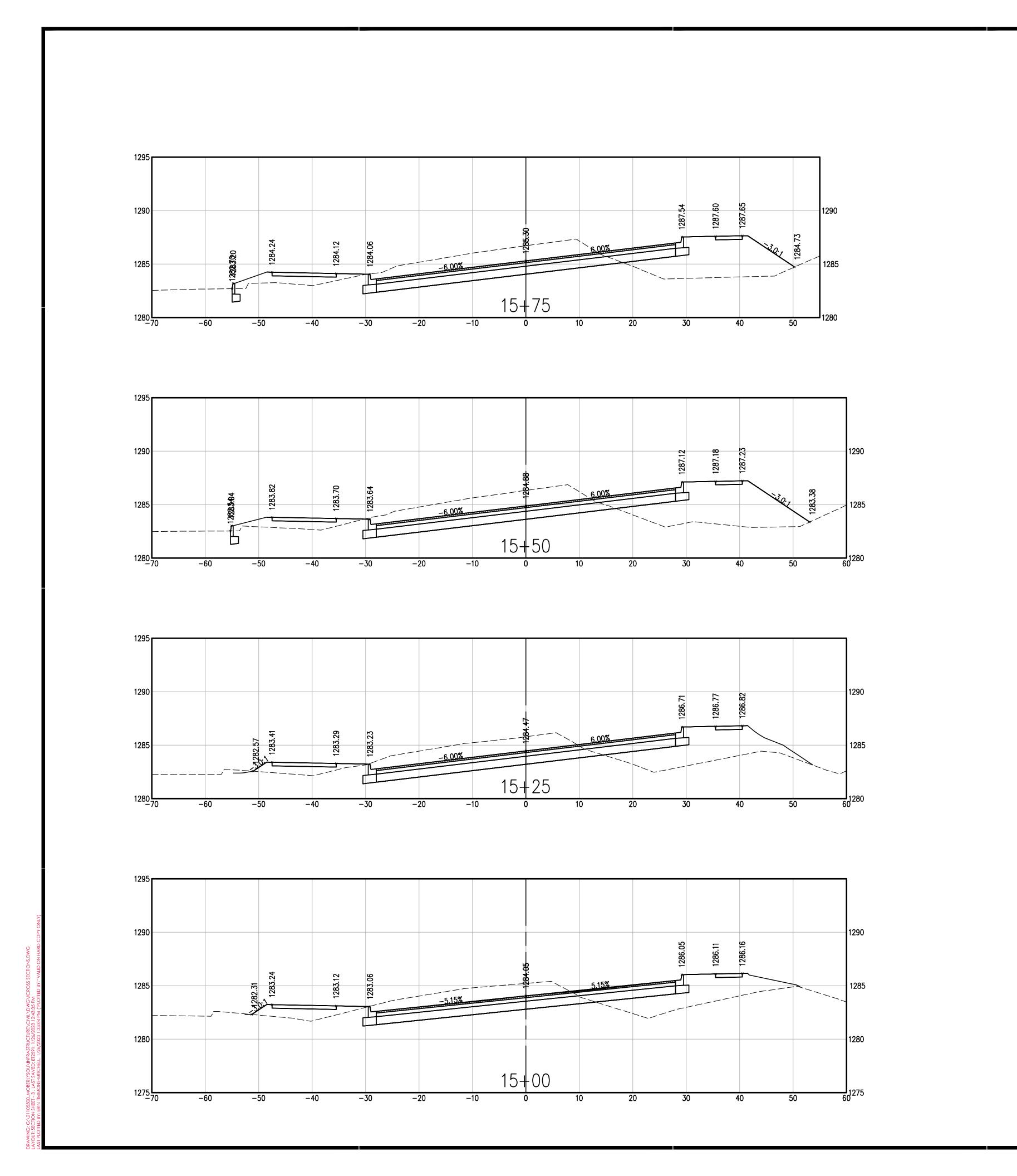
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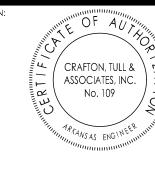
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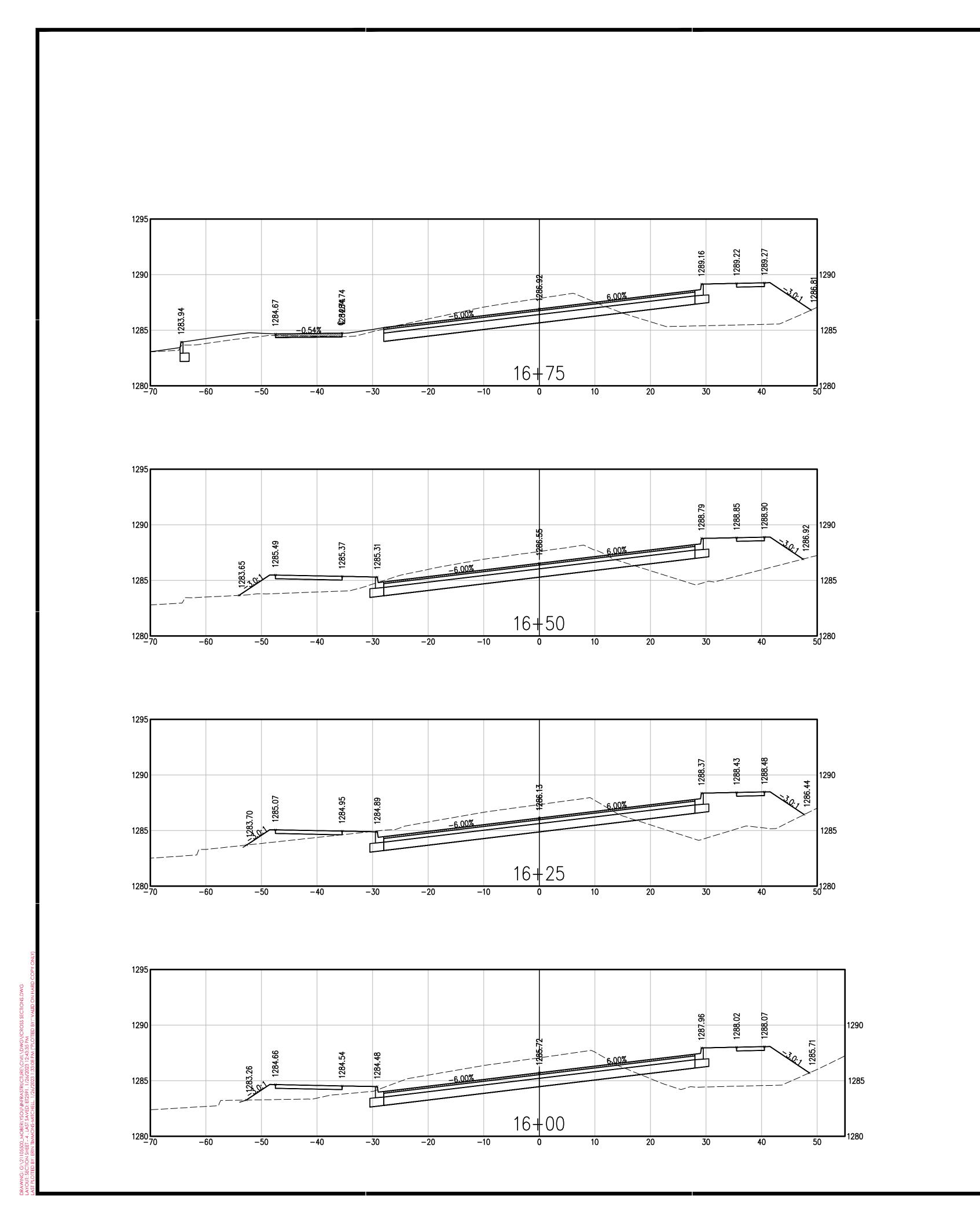
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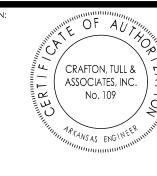
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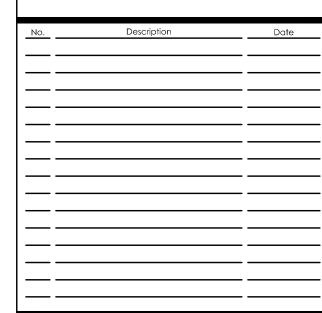






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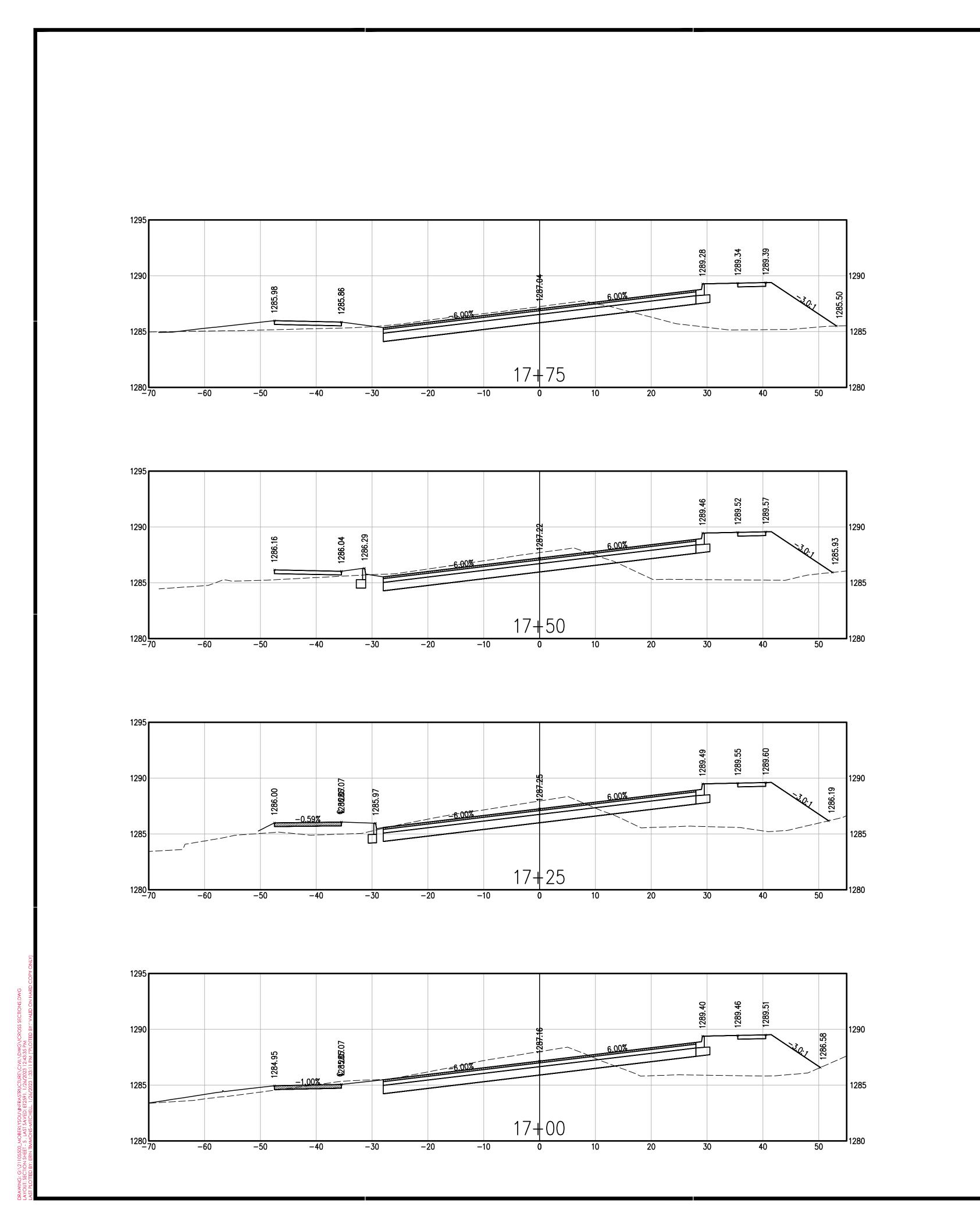
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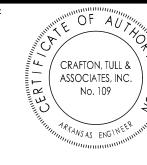
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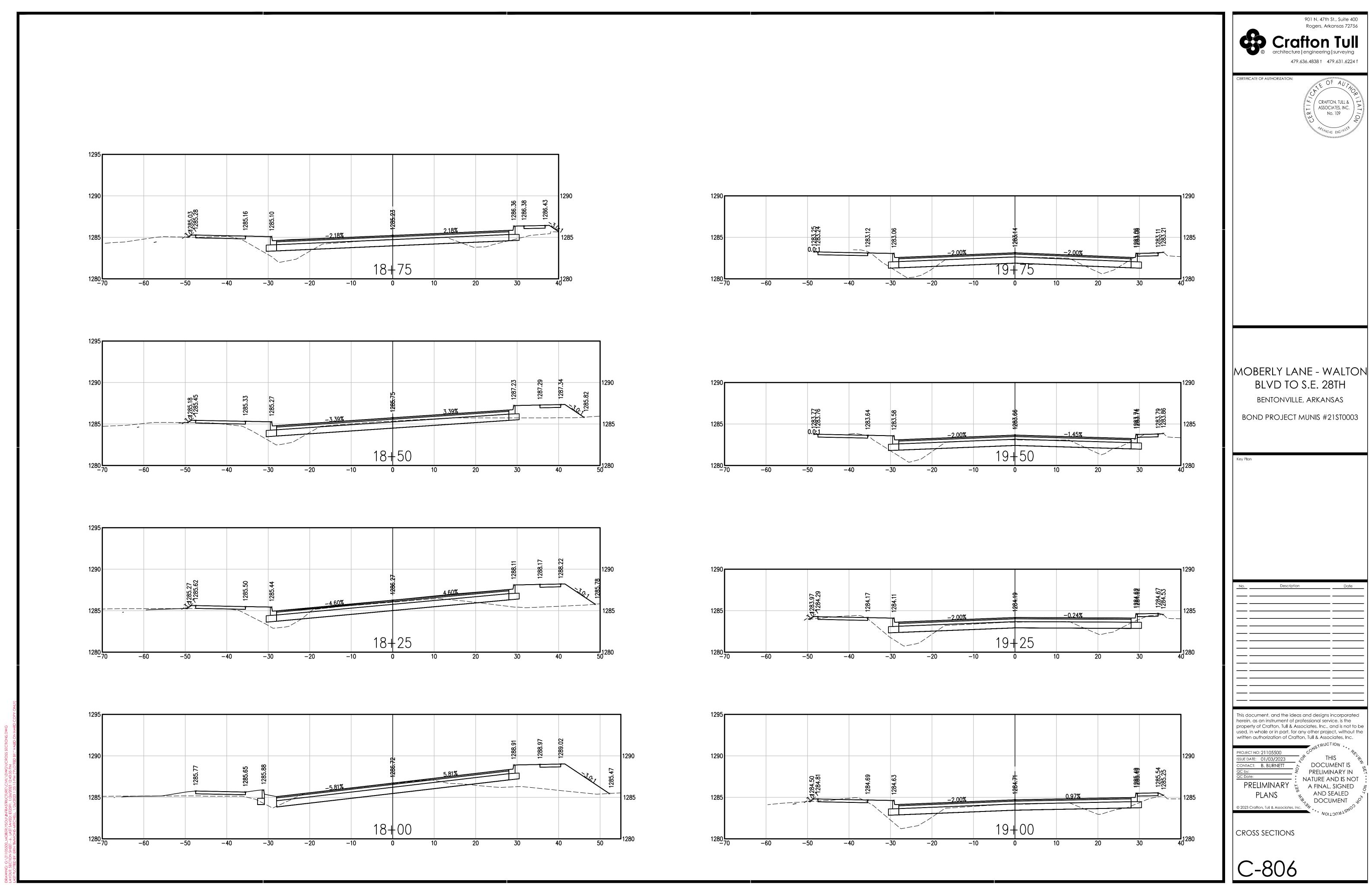
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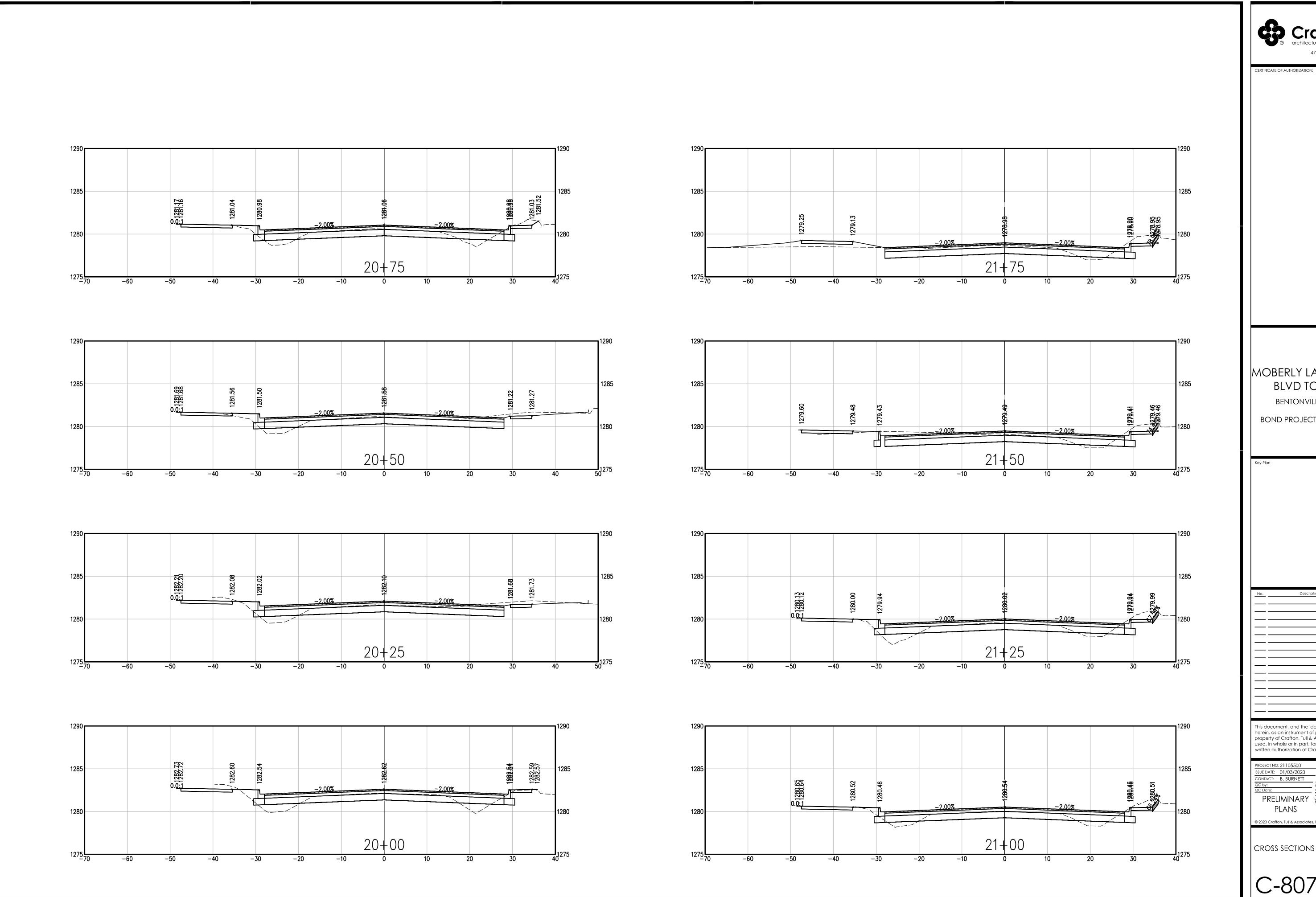
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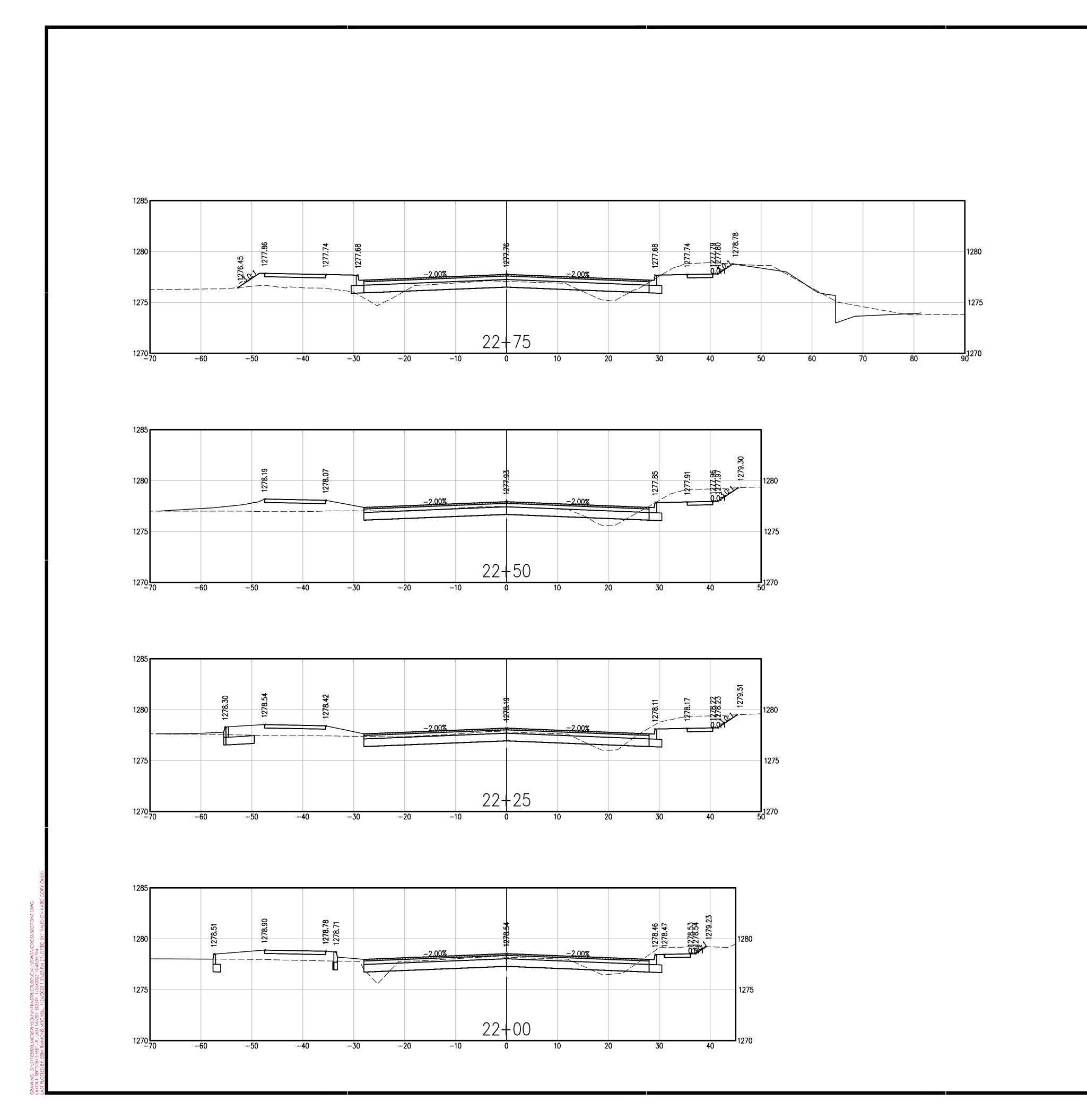
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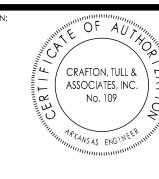
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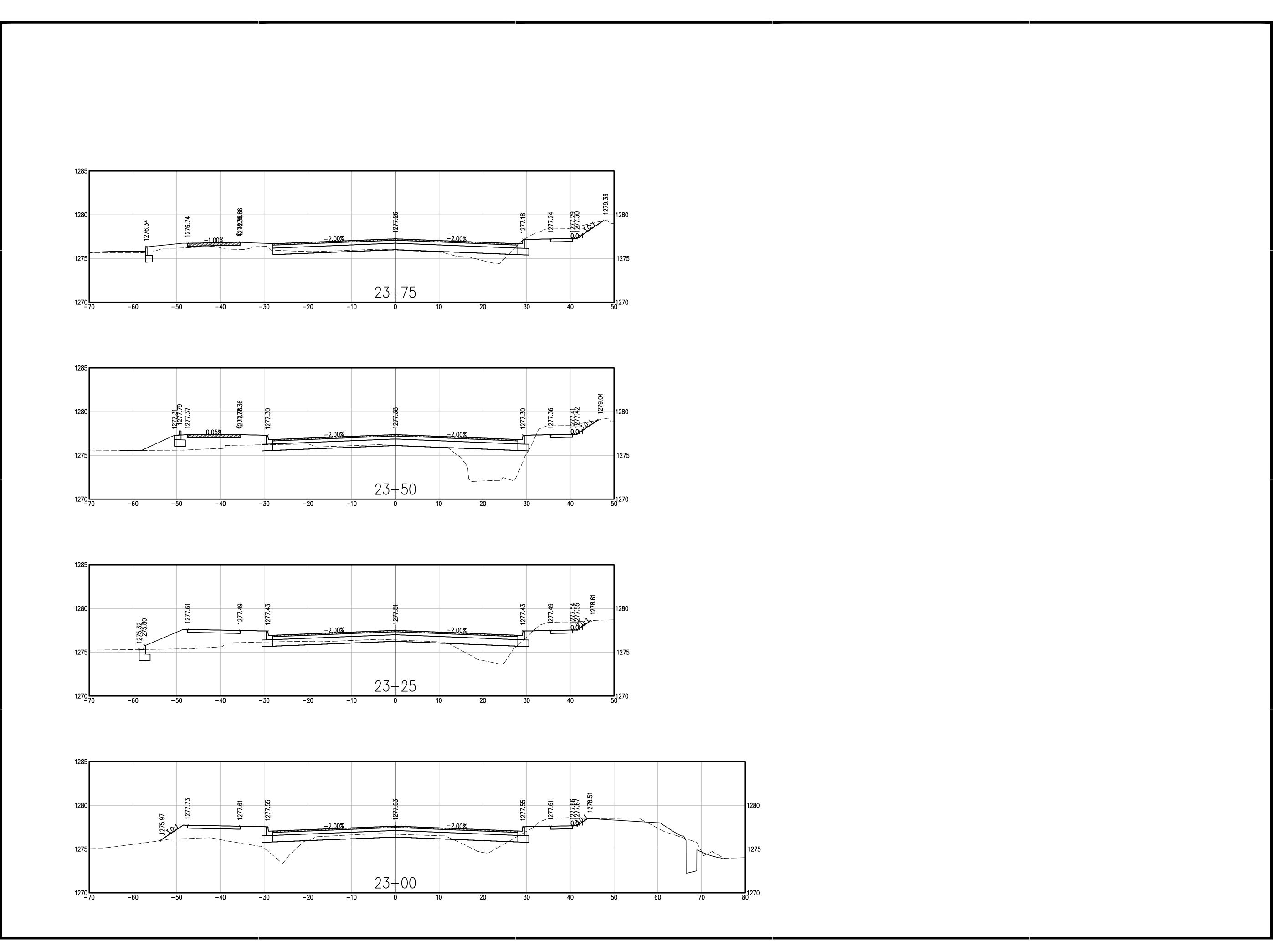
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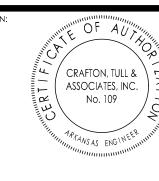
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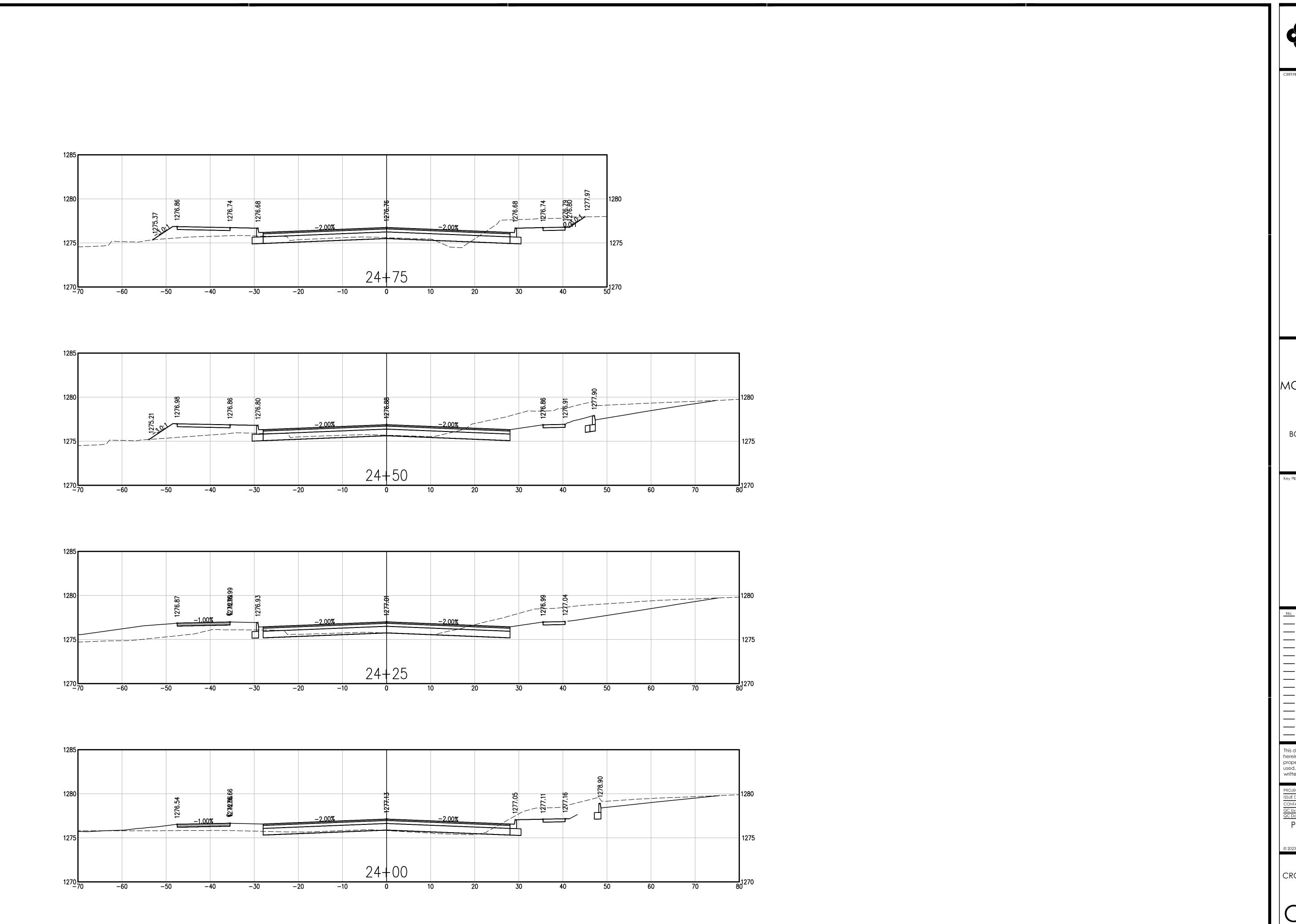
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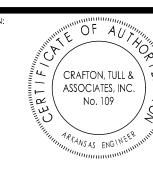
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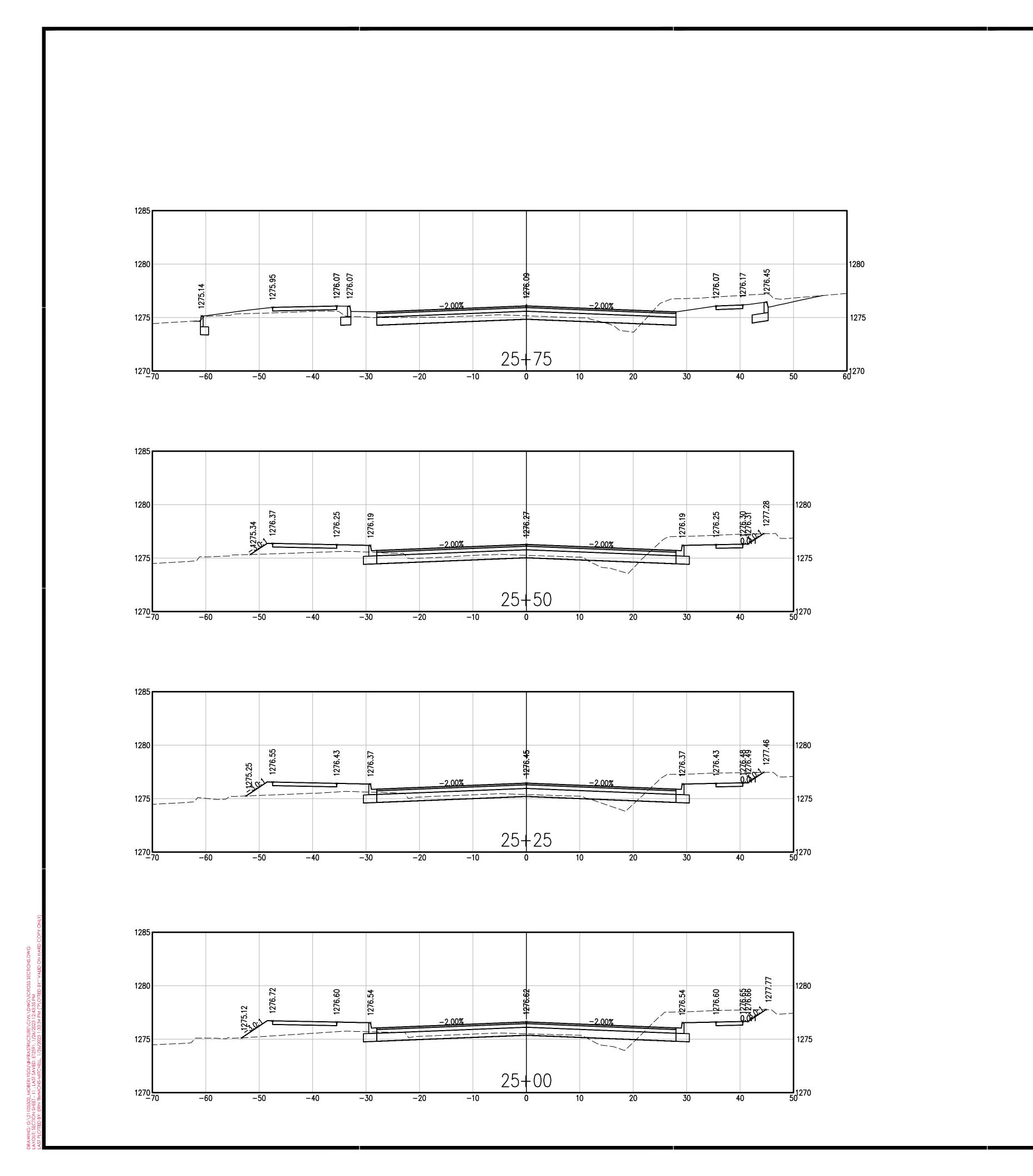
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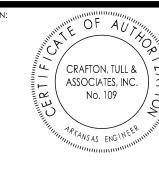
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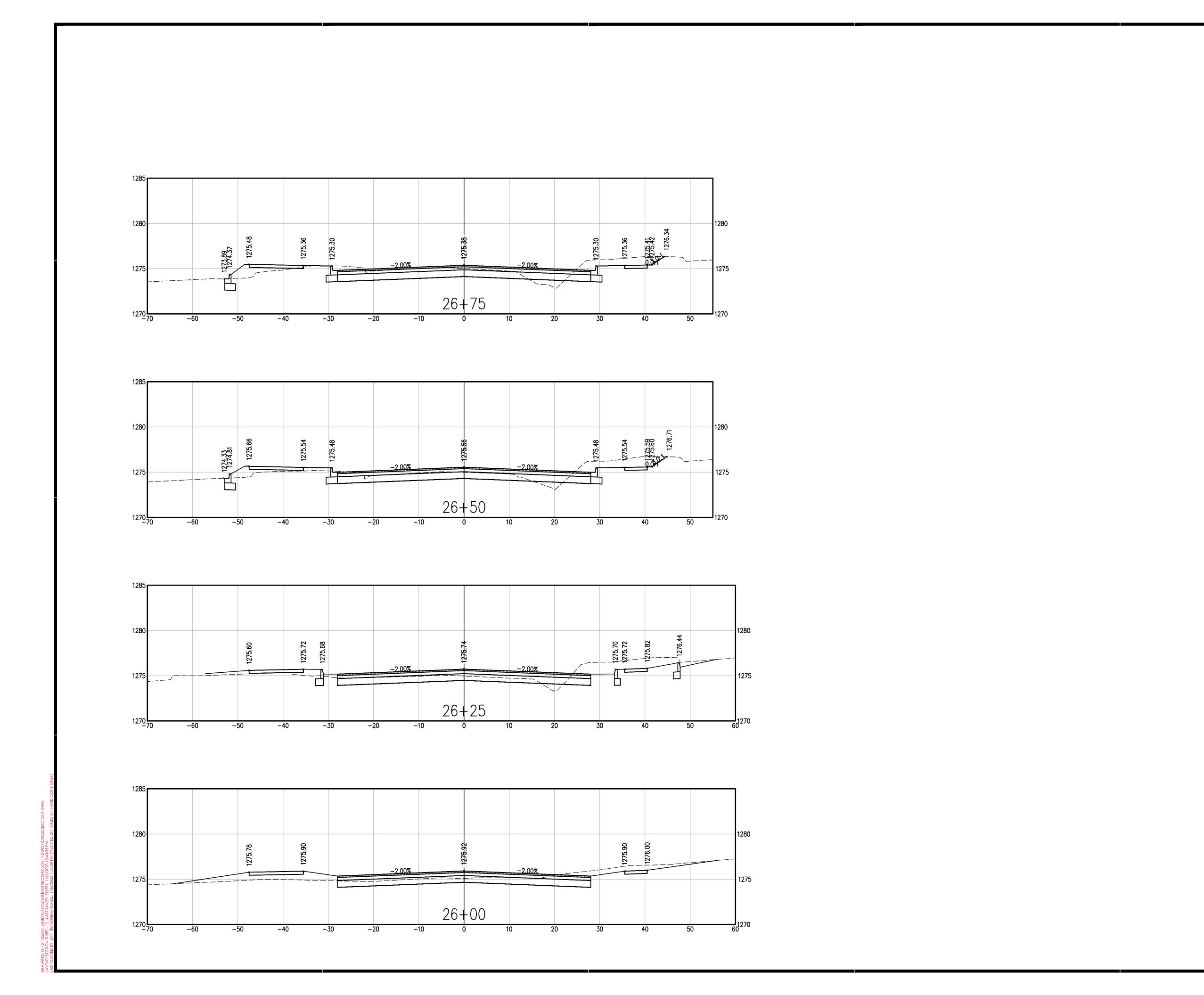
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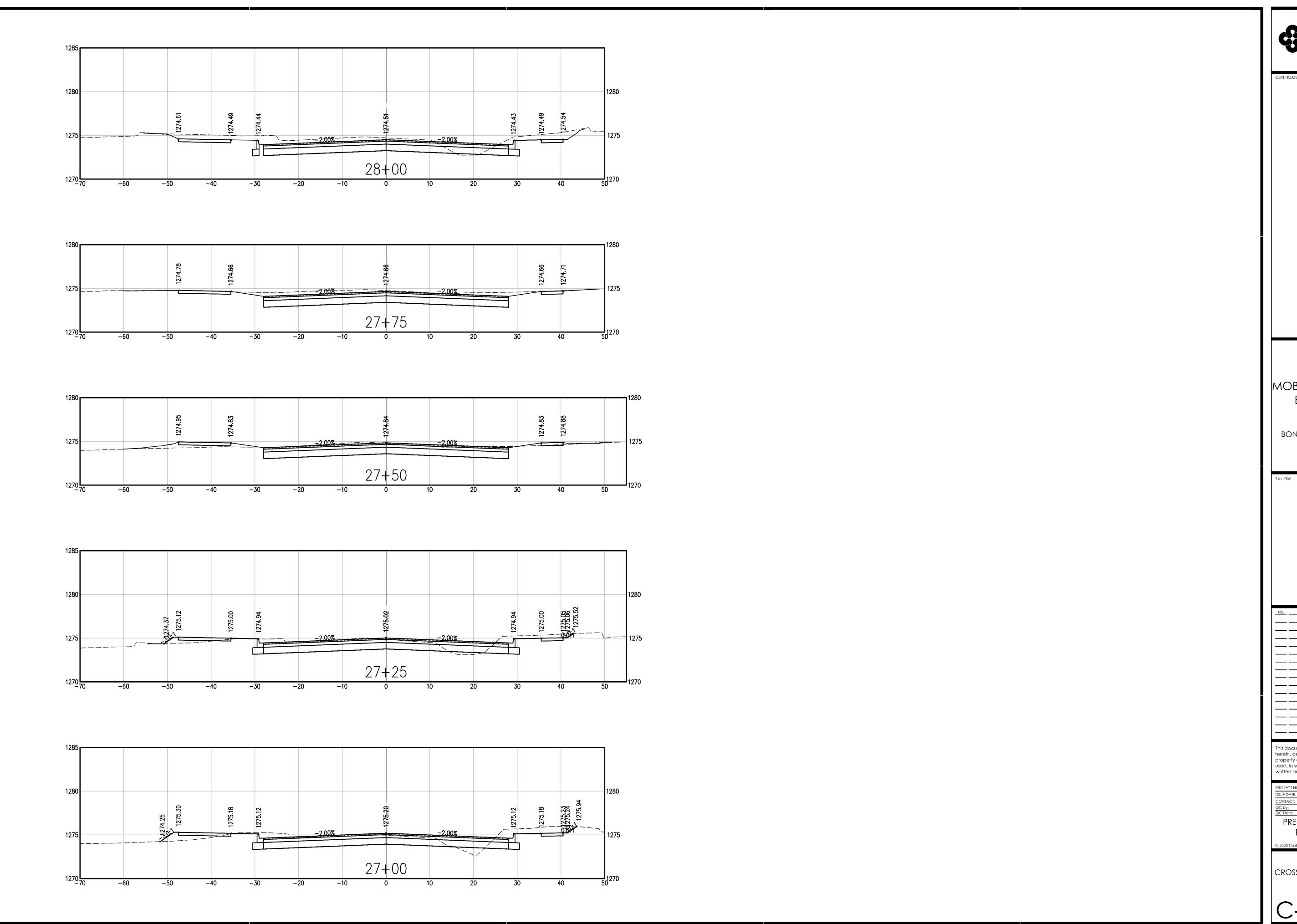
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BOND PROJECT MUNIS #21ST0003

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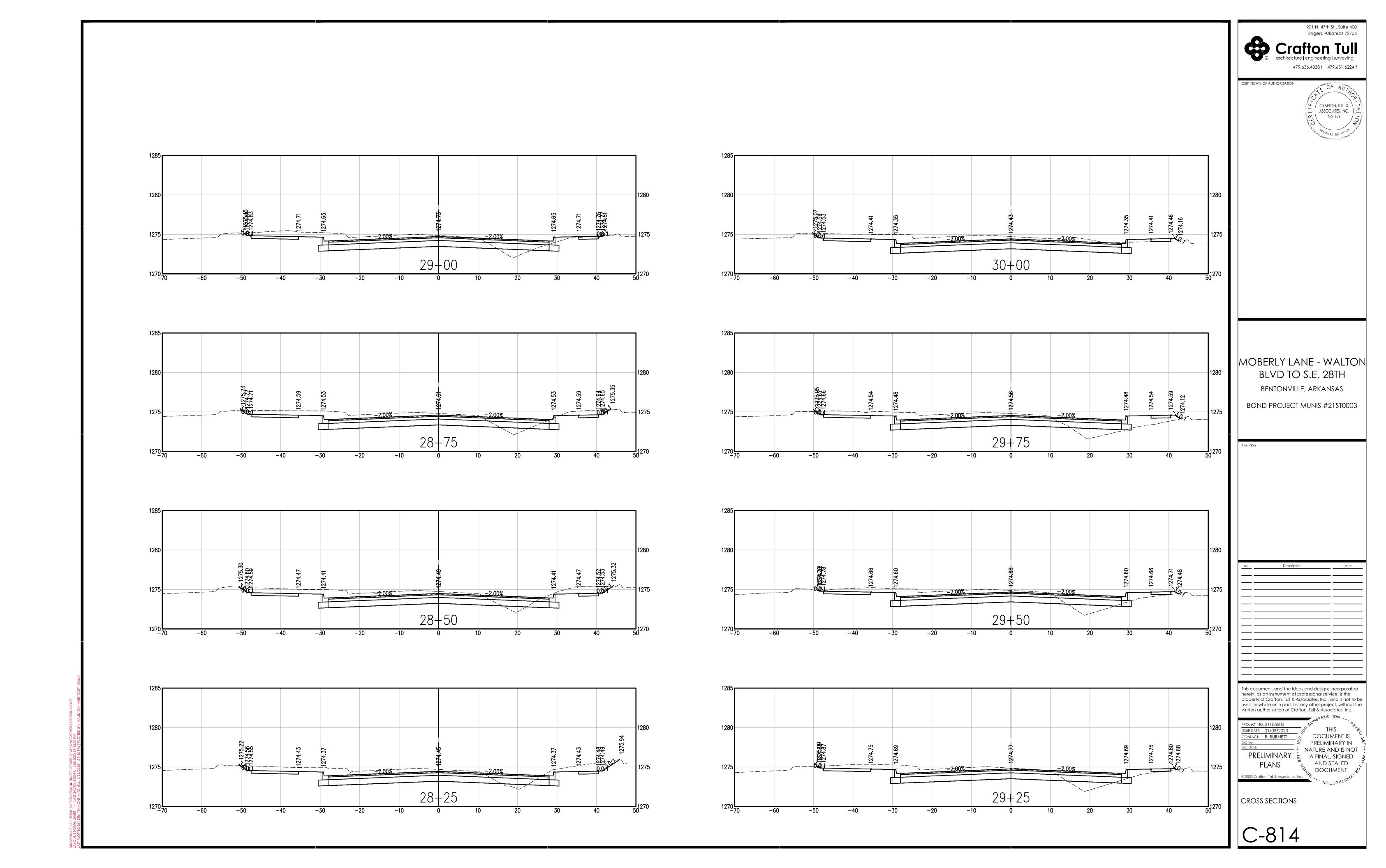
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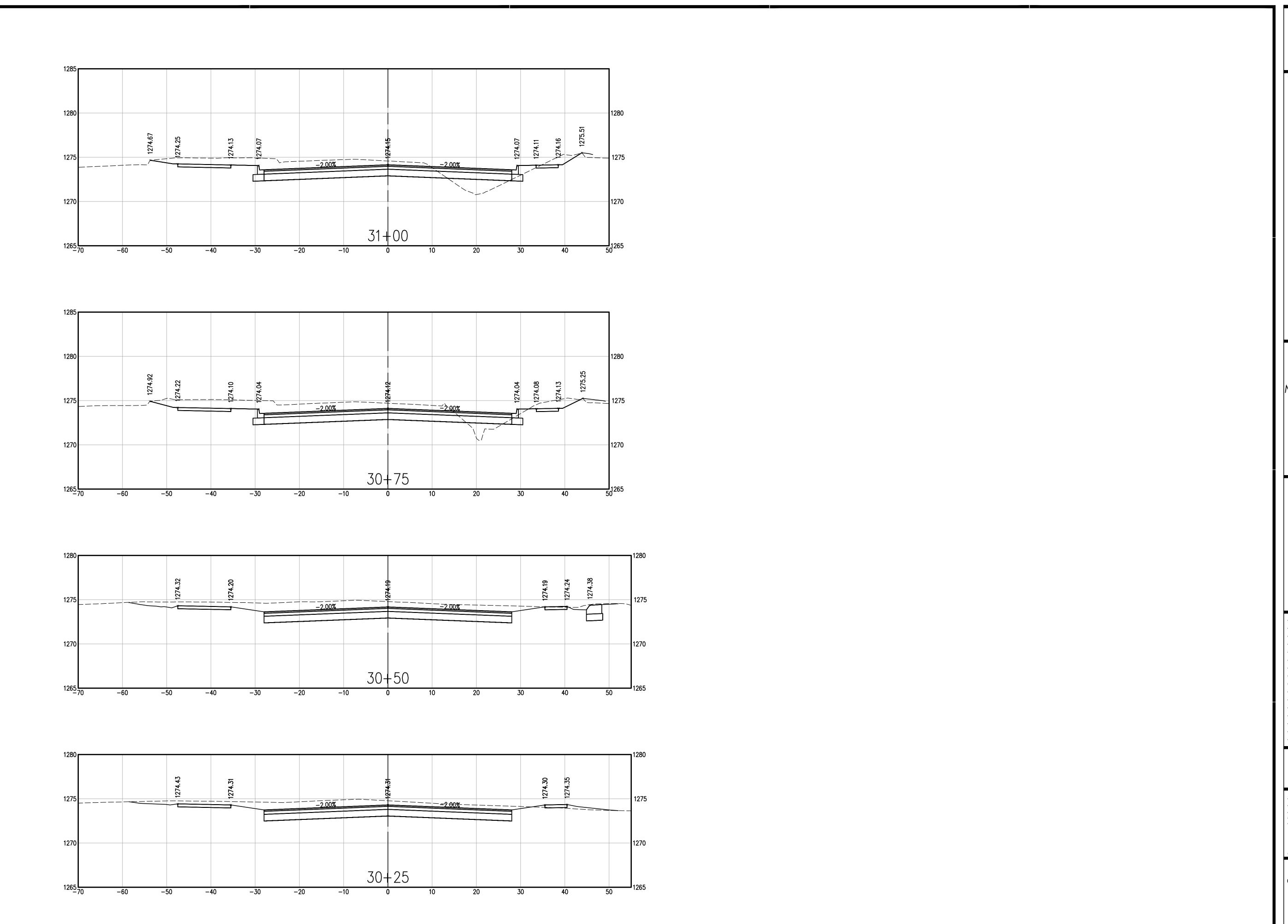
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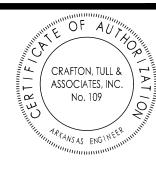
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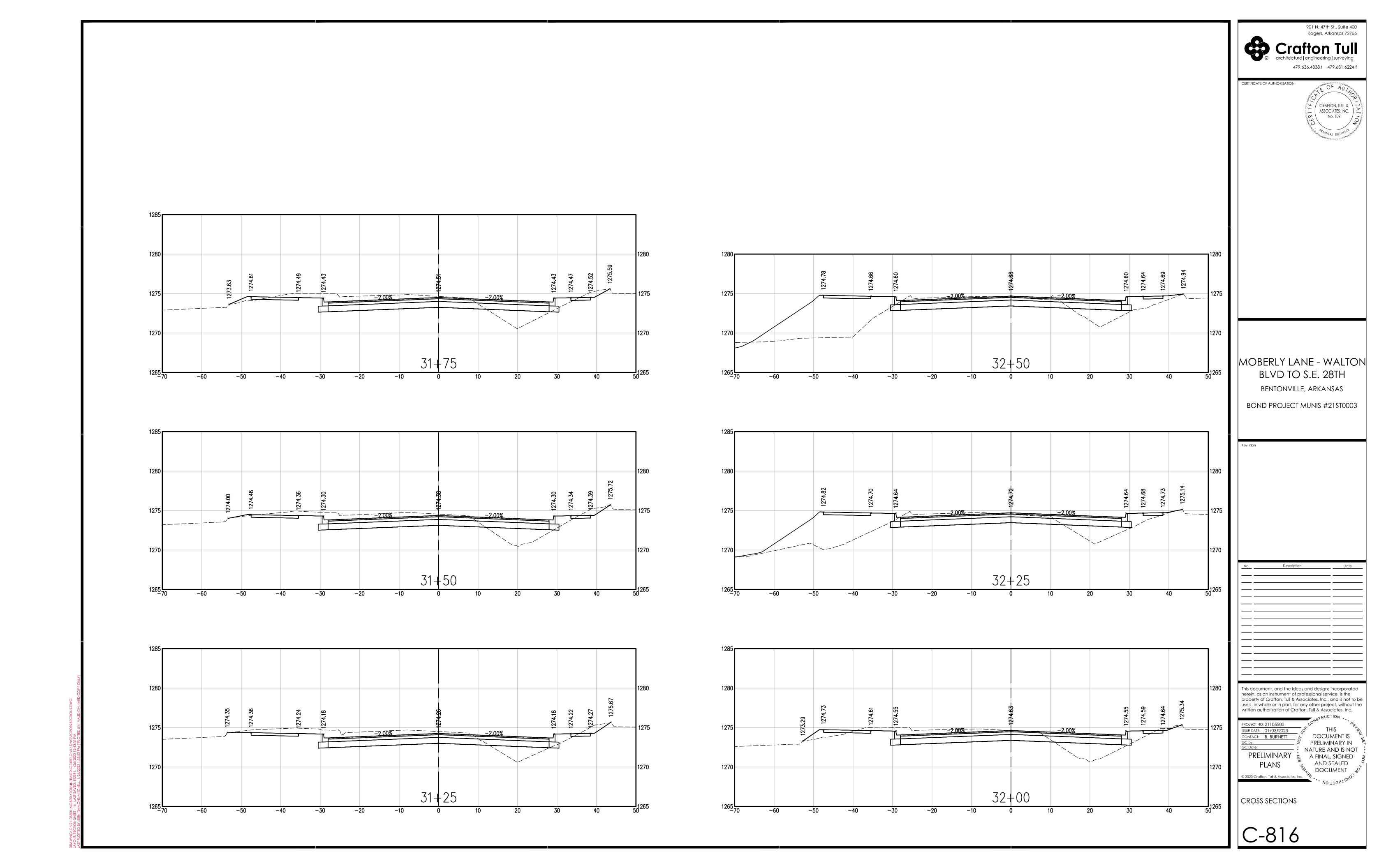


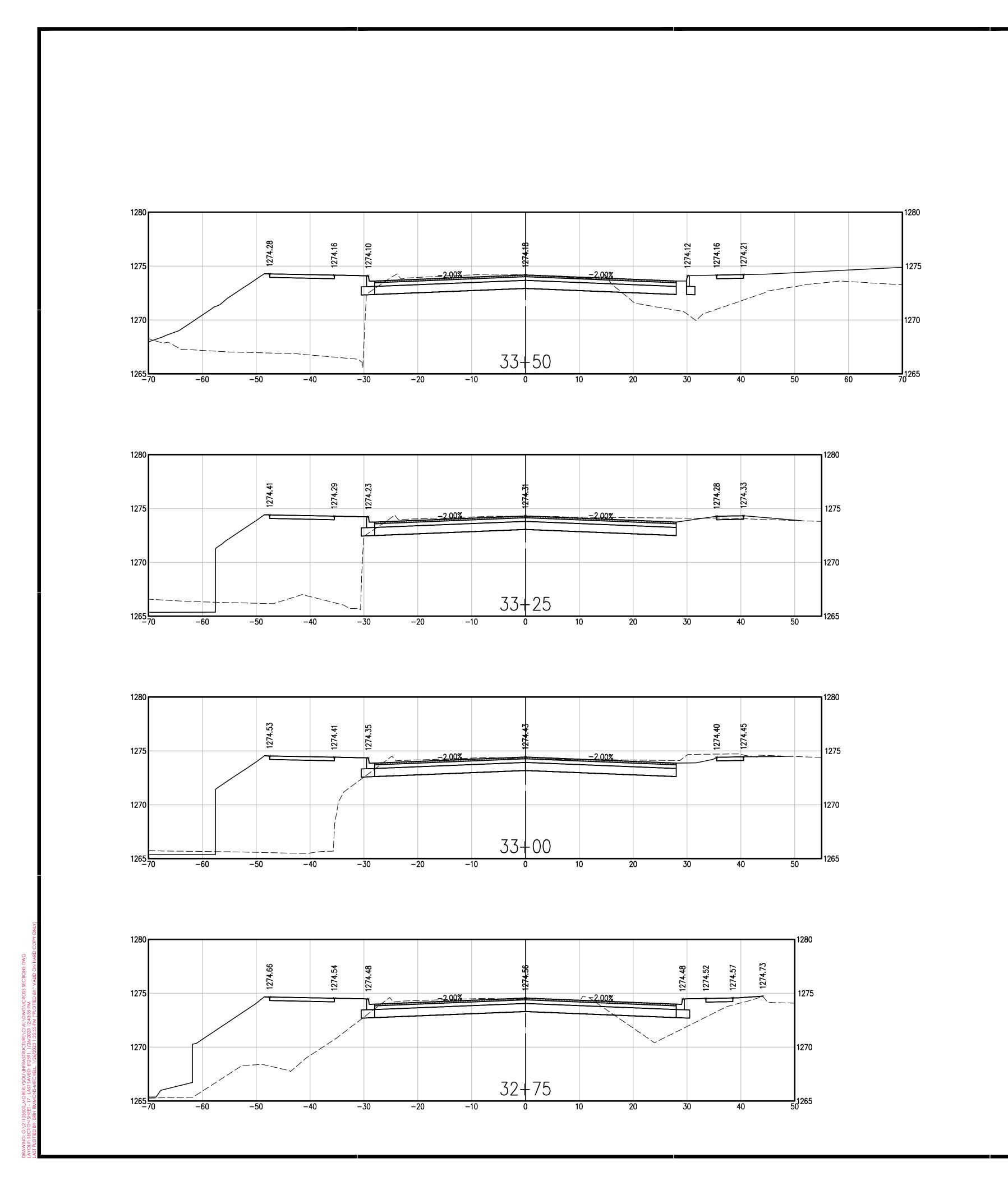
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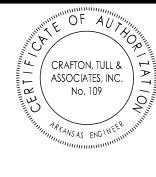
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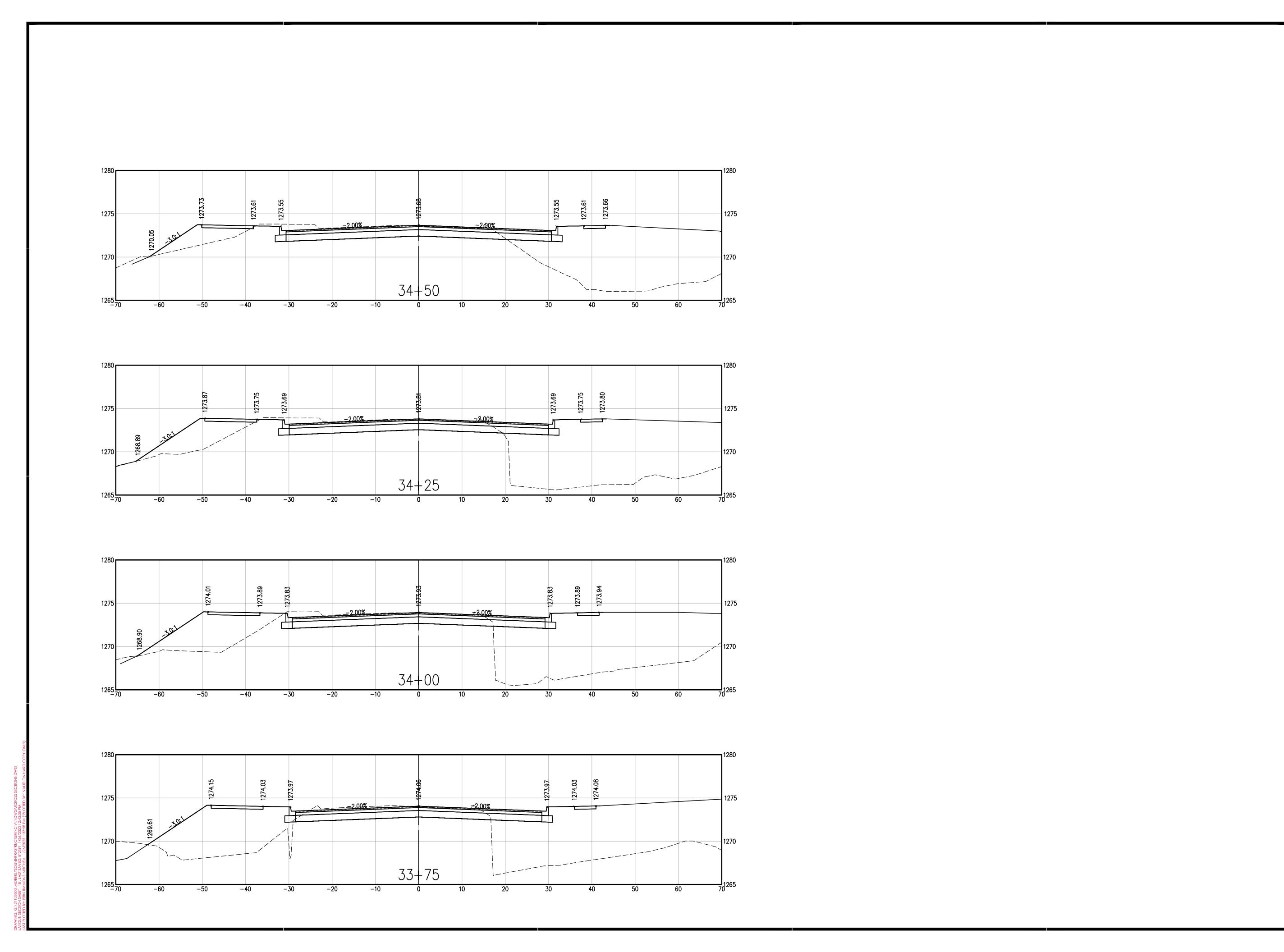
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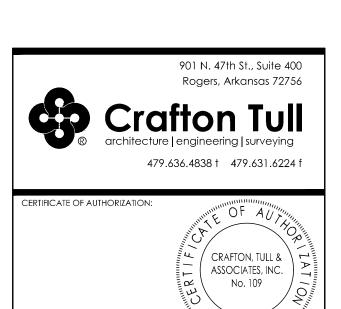
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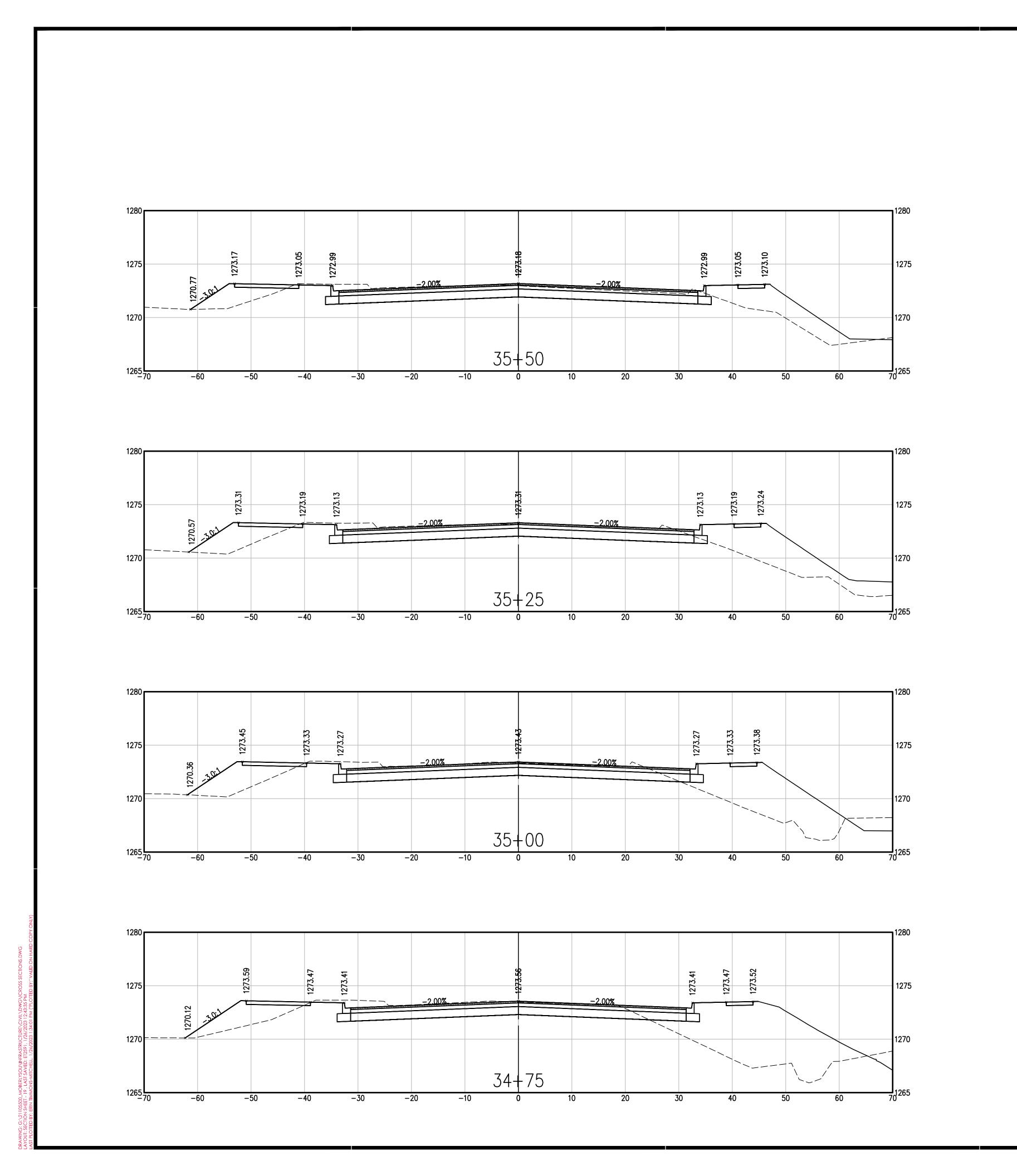
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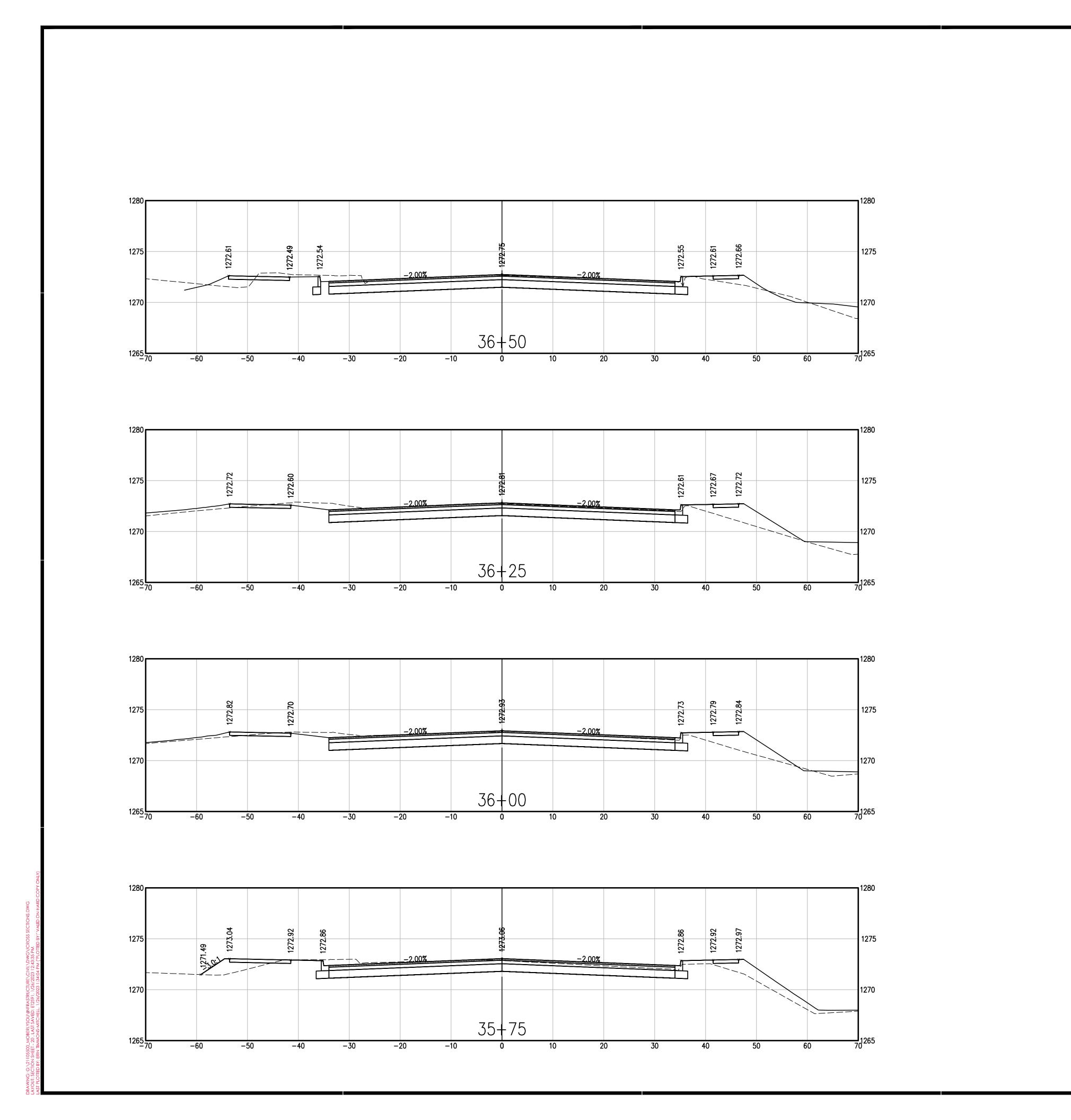
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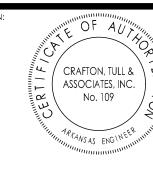
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